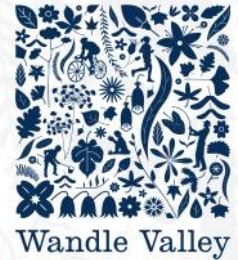


Wandle Valley Regional Park Trust
The Old Bookshop
Morden Hall Park
London
SM4 5JD



To Rebecca Watts, Living Wandle Partnership Scheme Manager

30th April 2018

Dear Rebecca,

Wandle Valley Regional Park Trust commitment to maintaining the Wandle Valley Gateways.

During the course of the LWLP programme the WVRPT have worked with various partners on three Wandle Valley Gateway projects directly. Waddon Ponds, Croydon, Trewint Street, Wandsworth and Poulter Park, Sutton.

In addition, there has been a fourth Gateway project at Baltic Close, Merton which the Future Merton team at the LB Merton delivered in its entirety.

This letter confirms the Trust's commitment to work alongside Local Authority and voluntary partners to maintain the capital works installed at the Gateway intervention sites.

The Trust is committed to maintaining the infrastructure improvements on these three sites and will ensure this is carried out by employing several methods and by utilising cash resources. The value of which is outlined below.

The three Gateway sites will be subject to inspection by our WVRPT volunteers on an annual basis to inspect, clean and provide spot repairs.

In addition, the WVRPT has been required to take out additional insurance on two of our Gateway sites (Trewint and Poulter Park) to indemnify the infrastructure improvements.

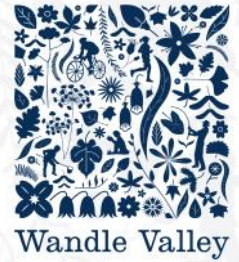
In relation to the overall maintenance and management of the sites by the three separate local authorities, it is difficult to demonstrate the precise value of M & M provided by these Client landowners on the sites where the Gateway interventions have taken place, as these capital works have all been adopted into the local authority grounds maintenance contracts, making it hard to separate out costs.

However, we have based a cost estimate on these works at Trewint Street which have been verified by Local Authority staff and feel that this is a good indicator of the true value of the ongoing management costs by the local authorities and voluntary sector partners.

The information below is confirmation of the pledged Management & Maintenance (M&M) value for the Wandle Valley Gateway Project delivered by Wandle Valley Regional Park Trust

The M&M plan for Trewint Street, Poulter Park and Waddon Ponds has been supplied with this confirmation letter and itemises in detail the work that will be carried out from April 2018 to October 2028 and its estimated value.

Wandle Valley Regional Park Trust
The Old Bookshop
Morden Hall Park
London
SM4 5JD



In accordance with the HLF grant offer letter, the required M & M value for this project is £10,675.00. The attached M & M plans and this letter confirms and demonstrates work to the approximate value of, £38,400.00.



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Charity Number: 1152818 Company Number: 08146794 VAT 167614294

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Gateway	Organisation responsible for maintenance	Contact details	Maintenance value
Trewint Street, Wandsworth, SW18 4HB	London Borough Wandsworth	Martin Hoare Highways and Structural team, Frogmore Road Depot, Wandsworth SW18	£3,025.00
	Enable Culture and Leisure	Head of Parks The Park Offices Staff Yard Battersea Park London, SW11 4NJ	Value integrated with value above
	Groundwork Green Team	Groundwork London 18-21 Morley Street London, SE1 7QZ	£2,300.00
	Wandle Valley Regional Park Trust	CEO The Old Bookshop Morden Hall Park SM4 5JD	£500 volunteer costs £2,500 for cleaning and spot repairs £15,000 for insurance for Trewint and Poulter Park.
Sub total - £23,325.00			
Poulter Park Sutton SM5 1HZ	London Borough of Sutton	Bill Wyatt Neighborhood Services Denmark Road Sutton SM5 2JG	Estimated value as per Trewint Street £3,025.00
	Wandle Valley Regional Park Trust	CEO The Old Bookshop Morden Hall Park SM4 5JD	£500 volunteer costs £2,500 for cleaning and spot repairs
Sub Total_ £6,025.00			
Waddon Ponds The Ridgeway CR0 4AF	London Borough Croydon Grounds maintenance	Paul Rest Contract Officer, Streets Public Realm Offices Stubbs Mead Depot Factory Lane Croydon, CR0 3RL	Estimated value as per Trewint Street £3,025.00
	London Borough Croydon Volunteer activities	Meike Weiser Community Conservation Partnership Officer Active Lifestyle team	Integrated in the above value.



Wandle Valley Regional Park Trust
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		Bernard Weatherill House Croydon, CR0 1EA	
	Wandle Valley Regional Park Trust	CEO The Old Bookshop Morden Hall Park SM4 5JD	£500 volunteer costs £2,500 for cleaning and spot repairs
			Sub Total _ £6,025.00
Baltic Close Colliers Wood Merton SW19 2BL	London Borough Merton	Paul McGarry Future Merton Team Civic Centre, London Road, Morden SM4 5DX	Estimated value as per Trewint Street £3,025.00
			Sub Total _ £3,025.00
		Total Value for ten years	£38,400.00

The commitments outlined above have been agreed and verified by the main client landowners and the WVRPT, who are represented below as signatories.

I trust that this information is satisfactory,

Best wishes

Sue Morgan – CEO Wandle Valley Regional Park Trust

Paul McGarry – Future Merton, LB Merton

Bill Wyatt – LB Sutton *Bill Wyatt*

Martin Hoare – LB Wandsworth

Tom Lawrence – LB Croydon



Wandle Gateways Management and Maintenance Plan

1) Poulter Park Gateways

Management and Maintenance

- *Maintenance Schedules*

Gateways Designs

- *Watermeads Entrance Design*
- *Goat Road Entrance Design*
- *Watermeads Lane Design*

2) Waddon Ponds Gateways

Management and Maintenance

- *Actions table with corresponding value*

Gateways Designs

- *Waddon Ponds Gateways Drawing Pack*

3) Trewint Street Gateway

Management and Maintenance

- *Actions table with corresponding value*

Gateway Designs

- *Trewint Street Gateways Drawing Pack*



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Wandle Valley

Wandle Valley Big Green Fund

Schedule of Maintenance

Final Report
Prepared by LUC
June 2015



SUPPORTED BY
MAYOR OF LONDON

Planning & EIA Design Landscape Planning Landscape Management Ecology Mapping & Visualisation	LUC LONDON 43 Chalton Street London NW1 1JD T +44 (0)20 7383 5784 london@landuse.co.uk	Offices also in: London Bristol Glasgow Edinburgh	 FS 566056 EMS 566057	Land Use Consultants Ltd Registered in England Registered number: 2549296 Registered Office: 43 Chalton Street London NW1 1JD LUC uses 100% recycled paper
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Project Title: Wandle Valley Big Green Fund- Schedule of Maintenance

Client: London Borough of Sutton

Version	Date	Version Details	Prepared by	Checked by	Approved by
V.0	30.06.15	Final	J. Esdon	B. Shakespeare	A. Wikeley

Contents

1	Introduction	1
2	Maintenance Schedules	Error! Bookmark not defined.
3	Next steps	1
	Appendix 1	

1 Introduction

- 1.1 The London Borough of Sutton Parks and Open Spaces Team have worked with the Wandle Valley Regional Park Trust (WVRPT) and a number of partners to deliver £1m of green space improvements as part of the Wandle Valley Big Green Fund project, between January 2014 and April 2015. The project has been funded by a range of organisations, led by the Mayor of London.
- 1.2 The areas covered in the Big Green Project include;
 - Poulter Park - a large green space owned by London Borough of Sutton situated in the heart of the Wandle Valley Regional Park.
 - Area of new backwater wetland on the leasehold land adjacent to Poulter Park and the River Wandle, managed by London Wildlife Trust.
 - Watermeads Nature Reserve -owned by the National Trust is situated north-west of Poulter Park.
 - Bennett’s Hole- a Local Nature Reserve west of the River Wandle adjacent to the Willow Lane industrial estate.
 - Maynooth Gardens -a small area of land to the south managed by Sutton Housing Partnership, south of Poulter Park off Middleton Road
- 1.3 Capital works environmental improvements and access works have been designed by LUC, and delivered on site in 2015, including vegetation management, new and upgraded footpaths, and installation of new entrances and regional park ‘gateways’
- 1.4 As part of the Landscape Architects design brief for the Wandle Valley Big Green Fund, LUC were commissioned by London Borough of Sutton to submit a proposed schedule of maintenance, specifying the tasks to be undertaken to sustain the improved features in the project area.
- 1.5 This report contains the schedule of maintenance for the five areas as listed above.

2 Maintenance Schedules

Methodology

- 2.1 The maintenance schedule has been prepared separately for each of the five landowners /service users of the areas covered in the Big Green Fund;
- 2.2 Poulter Park - Sutton Borough Council Park Department
- 2.3 Backwater - London Borough Sutton/London Wildlife Trust
- 2.4 Watermeads – National Trust
- 2.5 Bennett’s Hole - Merton Council
- 2.6 Maynooth Gardens - Sutton Housing Partnership
- 2.7 The land managers from each of the five landowners/service users have been consulted on the maintenance schedules, which have been finalised as detailed on the following sheets.
- 2.8 The Management and Maintenance Plan drawings; north and South (drawing number 1001) are included in appendix 1, illustrating the management and maintenance activities.

Poulter Park Maintenance Schedule

Symbol	Regime	Aims	Operations	Frequency explanation	Frequency (approx. no. per year)
Grass					
AG	Amenity grass	Short grass suitable for sitting and recreation. Include litter pick prior to grass cut	cut to 50mm, max height 80mm, let arising fly, but disperse clumps.	15 times March to October	15.0
SG	Sports grass	Short grass to enable formal sports activity.	cut to 50mm and a maximum of 75mm during the season. Line marking by MRFC?	15 times March to October	15.0
LG	Long grass(with trees and shrub)	Longer grass between trees and shrubs for relaxed maintenance and to create variation in habitat.	cut to 40 - 75 mm, remove arisings. Cut before mid-March (to avoid nesting period for ground nesting birds), and late Sept.	1x March and 1x September	2.0
M	Meadow	Meadow grass to provide relatively short grass, sparse in part, and flower-rich habitats.	cut to 40 - 75 mm, remove arisings. Cut before mid-March (to avoid nesting period for ground nesting birds), and late Sept.	1x September note in first year of establishment Glendale to cut 3x	1.0
PE	Path edge grass	Amenity function to stop vegetation encroachment and obstruction. Shorter grass will improve sight lines and enhance safety.	strimmer cut to 50mm, max height 80mm, let arising fly, but disperse clumps up to 1m width.	1x March, 1x May, 1x July	3.0
Existing planting					
W	Woodland (existing)	Existing woodland, maintain as mixed age woodland habitat.	Monitor structural stability, health & Safety of trees, with safety in mind where access for public is close to woodlands.	Health and condition survey every four years	
BP	Boundary planting existing	Native trees and shrubs forming a screen to park/residential areas, to provide added diversity and to break up boundary edges. Also provides a useful wildlife corridor.	Monitor structural stability, health and safety of vegetation. Prune to maintain shielding but not to transgress into adjoining properties.	Health and condition survey every four years	

T	Individual trees	Maintain as attractive tree specimens.	Monitor structural stability health of trees, with safety in mind where access for public is close to trees. Carry out surgery/felling to maintain safety.	Health and condition survey every four years	
New planting					
WE (in LG areas)	Woodland edge	Newly planted trees and shrubs to provide added diversity/habitat in areas of long grass.	leave a 600mm un-mown area around trees to protect from strimmer damage		
H	Hedge	Hedge, mixed native species.	Maintain to 1.5m high, and clear of litter.	July and September to avoid nesting season	2.0
TO	Trees in open grass (planted by Sutton)	Standard trees in open grass, to provide amenity and habitat interest, but to allow outward views.	Monitor structural stability health of trees, with safety in mind, leave a 600mm un-mown area around trees to protect from strimmer damage. Check stakes and ties.	Health and condition survey every four years	
Hard landscape					
BG	Breedon gravel path	Ensure walking surfaces are stable, level and obstruction free.	Apply total herbicide on hard surfaces, along fence lines and around obstacles using pedestrian operated knapsack sprayer (twice a year). Leaf clearance October-January(1x month). Rake and top up as required.	herbicide early summer and mid summer.2x year. Clearance 4x year.	4.0
TP	Tar spray and chip path, ramp and steps	Ensure walking surfaces are stable, level and obstruction free.			
CP	Car park	Ensure surfaces are stable, level and obstruction free.		Annual inspection	1.0
	Existing paths, access roads and drives	Ensure surfaces are stable, level and obstruction free.	Inspect, maintain and repair as necessary.	Annual inspection	1.0
SH	Steps and handrail	Ensure walking surfaces are stable, level and obstruction free.	Inspect, maintain and repair as necessary.	Annual inspection	1.0
BP	Brick pillars	Ensure in a clean, structurally safe condition.	Inspect, maintain and repair as necessary.	Annual inspection	1.0

R	Railings	Ensure in a structurally safe condition.	Inspect, maintain and repair as necessary.	Annual inspection	1.0
MF	Metal fencing and chicane	Ensure in a clean, structurally safe condition.	Inspect, maintain and repair as necessary.	Annual inspection	12.0
Site furniture and equipment					
TB	Timber bollards	Ensure in a clean, structurally safe condition.	Inspect, maintain, clean, repair and replace as necessary.	Annual inspection	12.0
DDB	Drop down bollards	Ensure in a clean, structurally safe condition.	Inspect, maintain, clean, repair and replace as necessary.	Annual inspection	12.0
G	Gates	Ensure in a clean, operational and structurally safe condition.	Inspect, maintain, clean, repair and replace as necessary.	Annual inspection	12.0
TR	Trip rail	Ensure in a clean, structurally safe condition.	Inspect, maintain, clean, repair and replace as necessary.	Annual inspection	12.0
PA	Play area	Ensure in a clean, structurally safe condition with a visual equipment safety check.	Inspect, maintain and repair as necessary.	comply with H&S requirements including ROSPA inspections	12.0
SP	Skate park	Ensure in a clean, structurally safe condition.	Inspect, maintain and repair as necessary.	comply with H&S requirements including ROSPA inspections	12.0
C	Court	Ensure in a clean, structurally safe condition.	Inspect, maintain and repair as necessary.	comply with H&S requirements including ROSPA inspections	12.0
S	Signage. Way markers and directional signage	Ensure in a clean, structurally safe condition.	Inspect, clean, treat and replace as necessary	Annual inspection	1.0
LB	Litter bins	Ensure in a clean and tidy condition.	Emptying, disposal and keep clean.	Annual inspection	1.0
DB	Dog bins	Ensure in a clean and tidy condition.	Emptying, disposal and keep clean.	Annual inspection	1.0
B	Benches	Ensure in a clean, structurally safe condition.	Repair and annual treatment.	Annual inspection	1.0
Litter					
n/a	Litter pick three times per week	keep park clear of litter	monthly litter pick in grass areas, existing and new planted areas	3 times per week	156.0
n/a	Remove fly tipping as and when required	keep park clear of litter and fly tipping-removing dilapidations and large items of rubbish		As an when required	

Gate at Watermead Lane

GWL	gate	Ensure in a clean, operational and structurally safe condition.	Inspect, maintain and repair as necessary.	Annual inspection	1.0
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Invasive Species

JKN	Japanese Knotweed	Fence to prevent public access. Eradicate from site through foliar spray depending on nature of growth. Monitor and repeat treatment as necessary.	Treat in early summer, and again in late summer.	2x year	2
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Backwater Maintenance Schedule

Symbol	Regime	Aims	Operations	Frequency explanation	Frequency (approx no. per year)
Grass					
DH	Damp 'meadow 'habitats	The grassland areas surrounding the backwater, will be managed as a meadow grassland habitat to maintain a short, flower-rich grassland community and removal of invasive woody species.	Annual cut, control and removal of arisings	Annual	1.0
PE	Path edge grass	Amenity function to stop vegetation encroachment and obstruction. Shorter grass will improve sight lines and enhance safety.	strimmer cut to 50mm, max height 80mm, let arising fly, but disperse clumps up to 1m width.	1x March, 1x May, 1x July	3.0
Open water/backwater					
OW	Open water	Maintain H&S, cleanliness and habitat value	cleanse surface to remove alga , duck weed, natural debris and litter	4x year (algal bloom control in May)	4
EM	emergent vegetation	control and maintain emergent /marginal vegetation to retain ?% of open water	annual reduction when marginal have become established	Annual	1
Existing planting					
EW	Water (existing)	Ensure water quality and safety is maintained.	Monitor water quality and litter pick regularly.	monthly	12.0
W	Woodland (existing)	Existing woodland, maintain as mixed age woodland habitat.	Monitor structural stability, health& Safety of trees, with safety in mind where access for public is close to woodlands. Monitor regeneration and control sapling and understorey growth close to path boundaries through strimming once every two years. (habitat management to form part of development plan proposals to be prepared in association with others.	Annual and after major storms, add 20%	1.2

C	Coppice	Encourage light to ground floor to increase ground flora and biodiversity.	Cut stools once per year on rotation to agreed areas	annual	1.0
ED	Dead wood (existing)	Ensure dead wood is maintained to encourage biodiversity but ensure it is in a structurally safe condition where elevated. Ideally leave where dead wood falls or adjacent to long grass, scrub and woodland.	Monitor dead wood regularly for safety.	monthly	12.0
Invasive Weeds					
JKN	Japanese Knotweed	Control invasive weeds, Japanese knot weed, (Himalayan balsam, giant hogweed if found)	monitor occurrence and agree control method compatible with habitat objectives	2xyear	2.0
Hard landscape					
TP	Tar spray and chip path, ramp and steps	Ensure walking surfaces are stable, level and obstruction free.	Apply total herbicide on hard surfaces, along fence lines and around obstacles using pedestrian operated knapsack sprayer (twice a year). Sweep path 4x year to keep obstruction and leaf litter free. (2x summer & 2x winter) Snow clearance as required.	herbicide early summer and mid summer.2x year. Clearance 4x year	4.0
Site furniture and equipment					
PB	Pedestrian Bridge	Ensure in a clean, structurally safe condition.	Inspect, maintain and repair as necessary.	minimum at monthly inspect for litter clearance	12.0
Litter					
n/a	monthly litter pick	keep back water clear of litter	monthly litter pick in grass areas, existing and new planted areas	12 x year	12.0
n/a	biannual clean up	keep backwater clear of litter and fly tipping- removing dilapidations and large items of rubbish	2x year deep seasonal clean up	autumn and spring	2.0

Watermeads Maintenance Schedule

Symbol	Regime	Aims	Operations	Frequency explanation	Frequency (approx no. per year)
Grass					
AG	Amenity grass at entrance point	Short grass suitable for sitting and recreation. Include litter pick prior to grass cut	cut to 50mm, max height 80mm, let arising fly, but disperse clumps.	2x month April-Oct	14.0
PE	Path edge grass	Amenity function to stop vegetation encroachment and obstruction. Shorter grass will improve sight lines and enhance safety.	cut to 50mm, max height 80mm, let arising fly, but disperse clumps up to 1m width.	1x March, 1x May, 1x July	3.0
Existing planting					
	Woodland (existing)	Existing woodland, maintain as mixed age woodland habitat.	Monitor structural stability, Health & Safety of trees, with safety in mind where access for public is close to woodlands. Monitor regeneration and control sapling and understorey growth close to path boundaries through strimming once every two years. (habitat management to form part of development plan proposals to be prepared by others.) Suggest include coppice and dead wood management.	Annual and after major storms, add 20%	1.2
Invasive Weeds					
JKN	Japanese Knotweed	Control invasive weeds, Japanese knotweed, (Himalayan balsam, giant hogweed if found)	monitor occurrence and agree control method compatible with habitat objectives	2x year	2.0
Hard landscape					

BG	Breedon gravel path	Ensure walking surfaces are stable, level and obstruction free.	Apply total herbicide on hard surfaces, along fence lines and around obstacles using pedestrian operated knapsack sprayer (twice a year). Leaf clearance October - January x 4 per month. Litter clearance once per week.	herbicide early summer and mid summer.2x year. Clearance 4x year.	4.0
TP	Tar spray and chip at entrance	Ensure walking surfaces are stable, level and obstruction free.	Apply total herbicide on hard surfaces, along fence lines and around obstacles using pedestrian operated knapsack sprayer (twice a year). Leaf clearance October - January x 4 per month. Snow clearance as required.	herbicide early summer and mid summer.2x year. Clearance 4x year	4.0
Site furniture and equipment					
G	Gates	Ensure in a clean, operational and structurally safe condition.	Inspect, maintain and repair as necessary.	quarterly	4.0
TB	Timber bollards	Ensure in a clean, structurally safe condition.	Inspect, maintain, clean, repair and replace as necessary.	minimum at monthly inspect for litter clearance	12.0
HR	heritage railings	Ensure in a clean, well painted and structurally safe condition.	Inspect, maintain and repair as necessary.	minimum quarterly inspect	4
PB	pedestrian bridges (5 number)	Ensure in a clean, and structurally safe condition.	Inspect, maintain and repair as necessary.	minimum quarterly inspect. Include annual structural survey	4
TW	tipping wier	Ensure in a clean, and structurally safe condition.	Inspect, maintain and repair as necessary to manufacturers instructions.	minimum quarterly inspect. Include annual structural inspection	4
S	Signage . Way markers and directional signage	Ensure in a clean, structurally safe condition.	Inspect, clean, treat and replace as necessary	minimum quarterly inspect	4
Litter					
n/a	monthly litter pick	keep back Watermead of litter	monthly litter pick in grass areas, existing and new planted areas	12 x year	12.0

n/a	biannual clean up	keep Watermead clear of litter and fly tipping- removing dilapidations and large items of rubbish	2x year deep seasonal clean up	autumn and spring	2.0
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Storage Container

SC	Storage container	Ensure access maintained and container kept in good order	responsibility of Morden Hall Fishing Club
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Bennets Hole Maintenance Schedule

Symbol	Regime	Aims	Operations	Frequency explanation	Frequency (approx no. per year)
Grass					
GV	Grass edge verge	Shorter grass for amenity and to improve sight lines at both sides of entrances.	cut to 50mm, max height 80mm, let arising fly, but disperse clumps.	1x May, 1x September	2.0
Existing planting					
C	Coppice	Improve sightlines and personal safety at entrances as well as encourage light to ground floor to increase ground flora.	Cut stools once per year on rotation.	1x year in November	1.0
Hard landscape					
BG	Breedon gravel path	Ensure walking surfaces are stable, level and obstruction free.	Apply total herbicide on hard surfaces, along fence lines and around obstacles using pedestrian operated knapsack sprayer (twice a year). Leaf clearance October - January x 4 per month. Top up and rake as required.	herbicide early summer and mid summer. 2x year. Clearance 4x year. PROVISIONAL volunteer activity	4.0
MF	Estate rail	Ensure in a clean, well painted and structurally safe condition.	Inspections	4x year	4.0
Site furniture and equipment					
TB	Timber bollards	Ensure in a clean, structurally safe condition.	Inspect, maintain and repair as necessary.	4x year	4.0
B	Bench	Ensure in a clean, structurally safe condition.	Inspect and if damaged remove bench		1.0
Litter					
n/a	monthly litter pick	keep path and entrances clear of litter	monthly litter pick in grass areas, existing and new planted areas	12 x year .PROVISIONAL volunteer activity	12.0
n/a	biannual clean up	keep path and entrances clear of litter and fly tipping- removing dilapidations and large items of rubbish	2x year deep seasonal clean up	autumn and spring. PROVISIONAL volunteer activity	2.0

Maynooth Gardens Maintenance Schedule

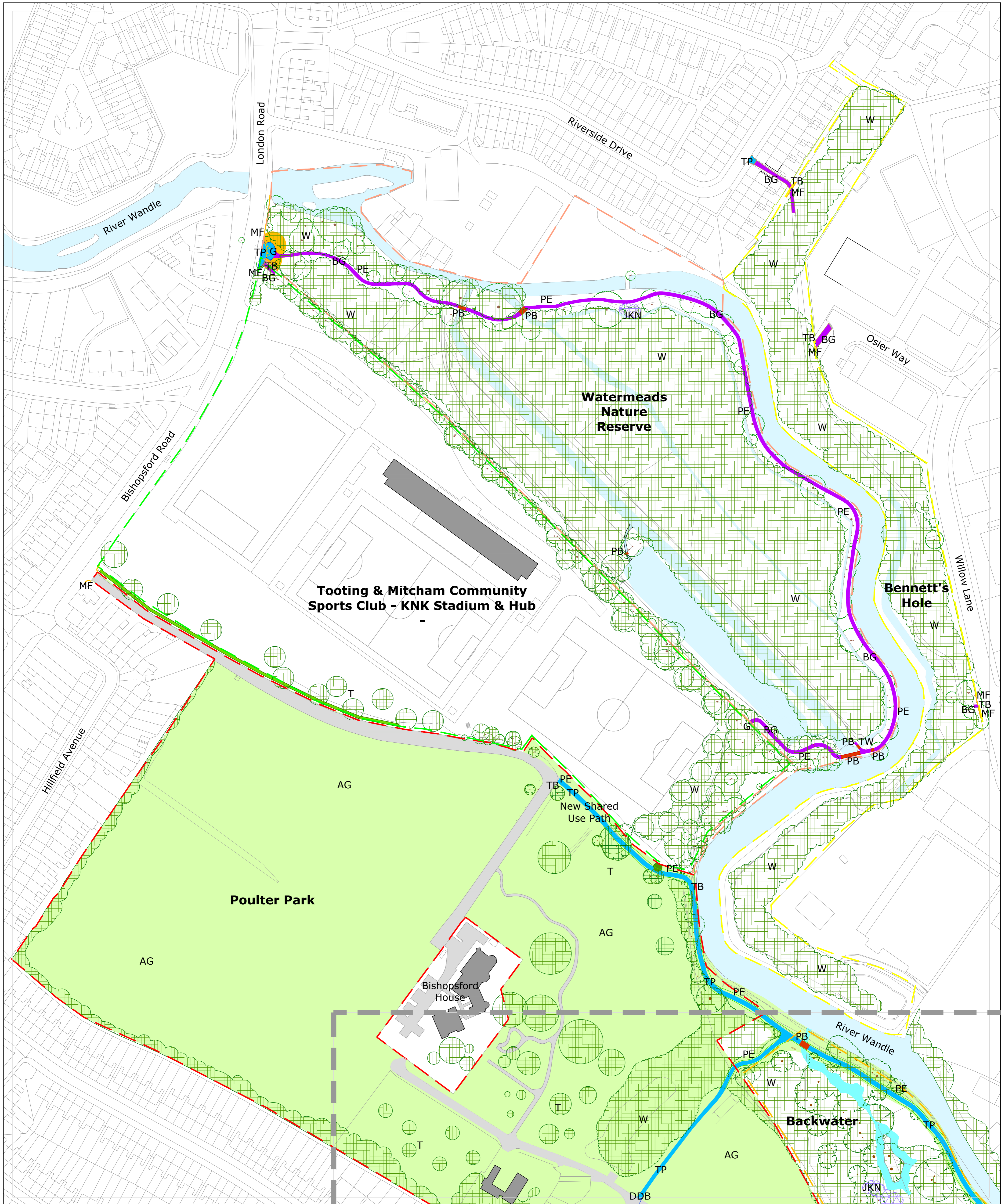
Symbol	Regime	Aims	Operations	Frequency explanation	Frequency (approx. no. per year)
Grass verge					
GV	Grass verge	Shorter grass for amenity and to improve sight lines.	cut to 50mm, max height 80mm, let arising fly, but disperse clumps.	1x month in growing season March - Sept	7.0
Litter					
n/a	monthly litter pick	keep path and entrances clear of litter	monthly litter pick in grass areas, existing and new planted areas	12 x year	12.0
n/a	biannual clean up	keep path and entrances clear of litter and fly tipping- removing dilapidations and large items of rubbish	2x year deep seasonal clean up	autumn and spring	2.0
Invasive Species					
JKW	Japanese Knotweed	Fence to prevent public access. Eradicate from site through stem injection and foliar spray depending on nature of growth. Monitor and repeat treatment as necessary.	Treat in early summer, and again in late summer.	2x year	2

3 Next steps

- 3.1 The Management and Maintenance schedule should be used as a basis to enable the land owners and service users to prepare maintenance contracts and management plans for the longer term development of the Wandle Valley Big Green fund projects.
- 3.2 Many of the maintenance tasks are focused around the day-to-day maintenance of the Park, for example cleanliness and park facilities.
- 3.3 Further short term priorities should be considered related to continuing with the improvement works that have begun in the recent capital works, for example further habitat improvements and tree planting.

Appendix 1

Management and Maintenance Plans



Legend

Extent of Poulter Park	Japanese Knotweed	Breendon gravel path	Timber bollards
Land Leased from John Deeds (Backwater location)	New woodland edge native trees and shrubs	Tar-spray & chip path	Drop down bollards
Extent of KNK Stadium	New native hedges	Pedestrian bridge	Gates
Extent of Watermeads	Amenity grass	Steps & handrail	Tilting weir
Extent of Bennett's Hole	Sports grass	Brick pillars	
Woodland (existing)	Long grass	Railings	
Boundary planting (existing)	Wild flower meadows	Metal fencing	
Woodland (existing)	Path edge / Grass verge	Timber rail	

A 05.06.18 First Issue		BS	AE	AW
Iss	Date	Issue	Notes	
43 Chalton Street LONDON NW1 1JD T: 020 7383 5784 F: 020 7383 4798 london@landuse.co.uk www.landuse.co.uk				
Project: The Wandle Valley Big Green Fund Project				
Client: London Borough of Sutton				
Title: M&M Plan North Watermeads & Bennett's Hole				
Scale: 1:1000@A1		Status: For Information		
Job No. 5885	Drawing No. 1001	Status: A		Issue: A
<small>Do not scale from this drawing © Drawing & Design Copyright of Land Use Consultants</small>				



Legend

- Extent of Poulter Park
- Land Leased from John Deeds (Backwater location)
- Extent of KNK Stadium
- Extent of Watermeads
- Extent of Bennett's Hole
- Woodland (existing)
- Boundary planting (existing)
- Woodland (existing)
- Japanese Knotweed
- New woodland edge native trees and shrubs
- New native hedges
- Amenity grass
- Sports grass
- Long grass
- Wild flower meadows
- Path edge / Grass verge
- Breendon gravel path
- Tar-spay & chip path
- Pedestrian bridge
- Steps & handrail
- Brick pillars
- Railings
- Metal fencing
- Timber rail
- Timber bollards
- Drop down bollards
- Gates
- Tilting weir
- Gate at Watermead Lane

B 29.06.15 Gate at Watermead Lane added	RE JE AW
A 05.09.16 First Issue	BS JE AW
Iss Date Issue Notes	

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Project: The Wandle Valley Big Green Fund Project
Client: London Borough of Sutton
Title: M&M Plan South Poulter Park & Backwater
Scale: 1:1000@A1 Status: For Information
Job No: 5885 Drawing No: 1002 Issue: B

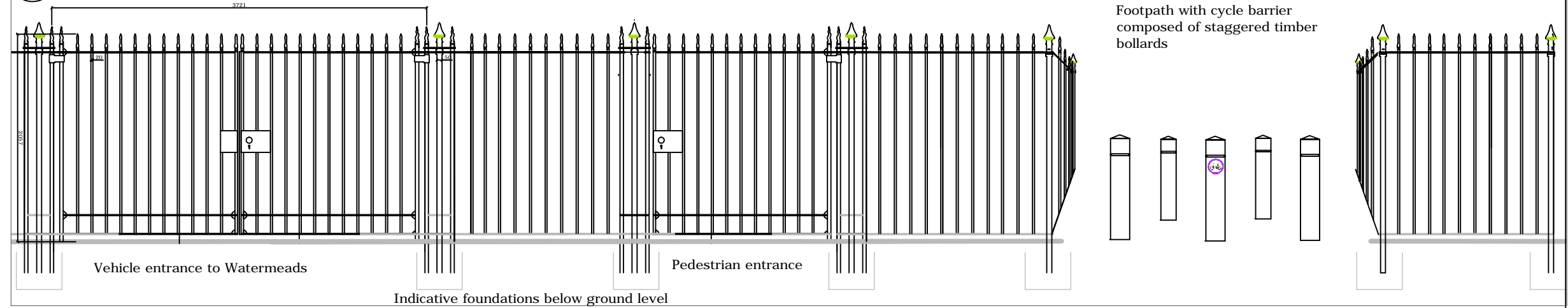
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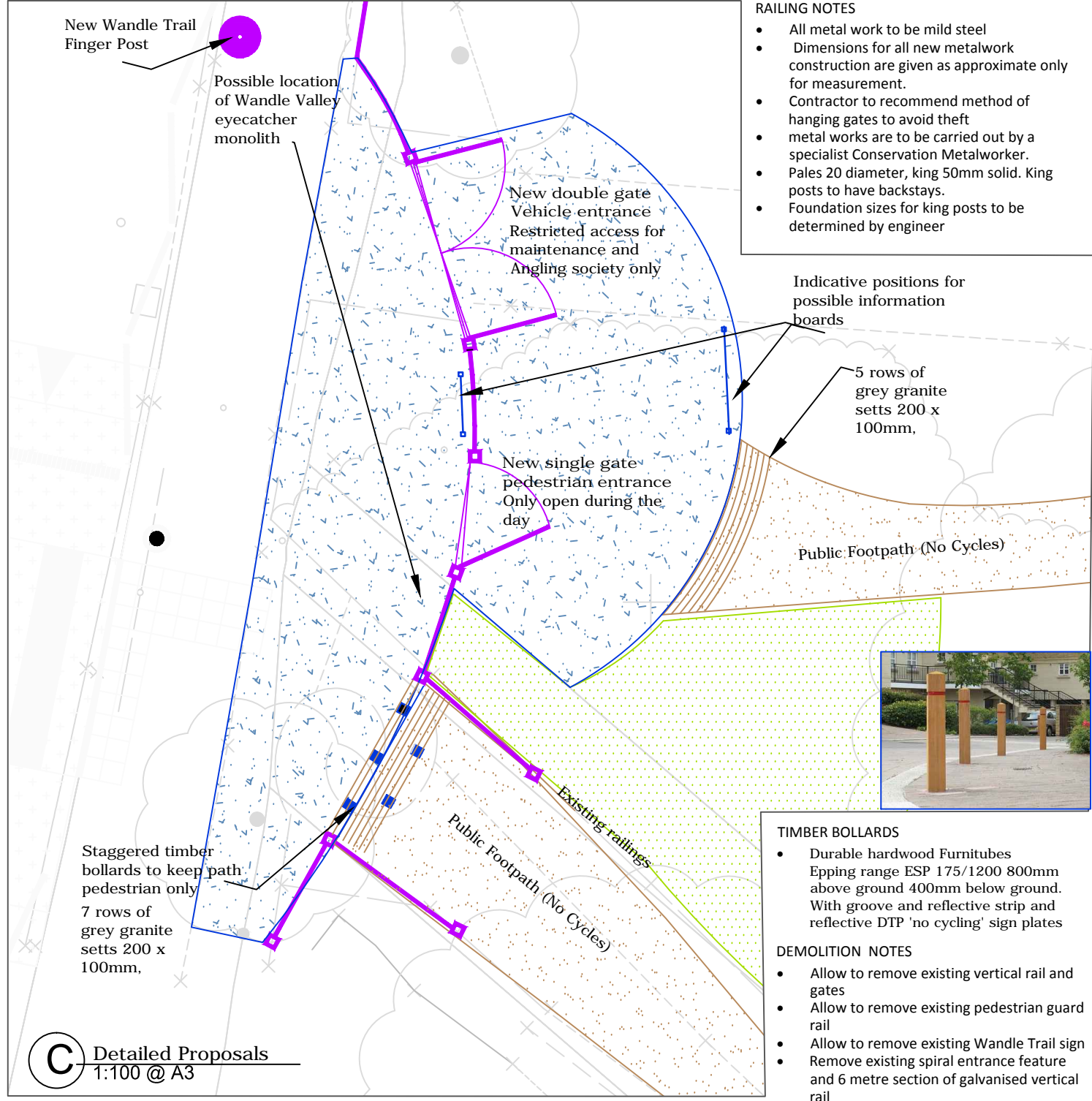
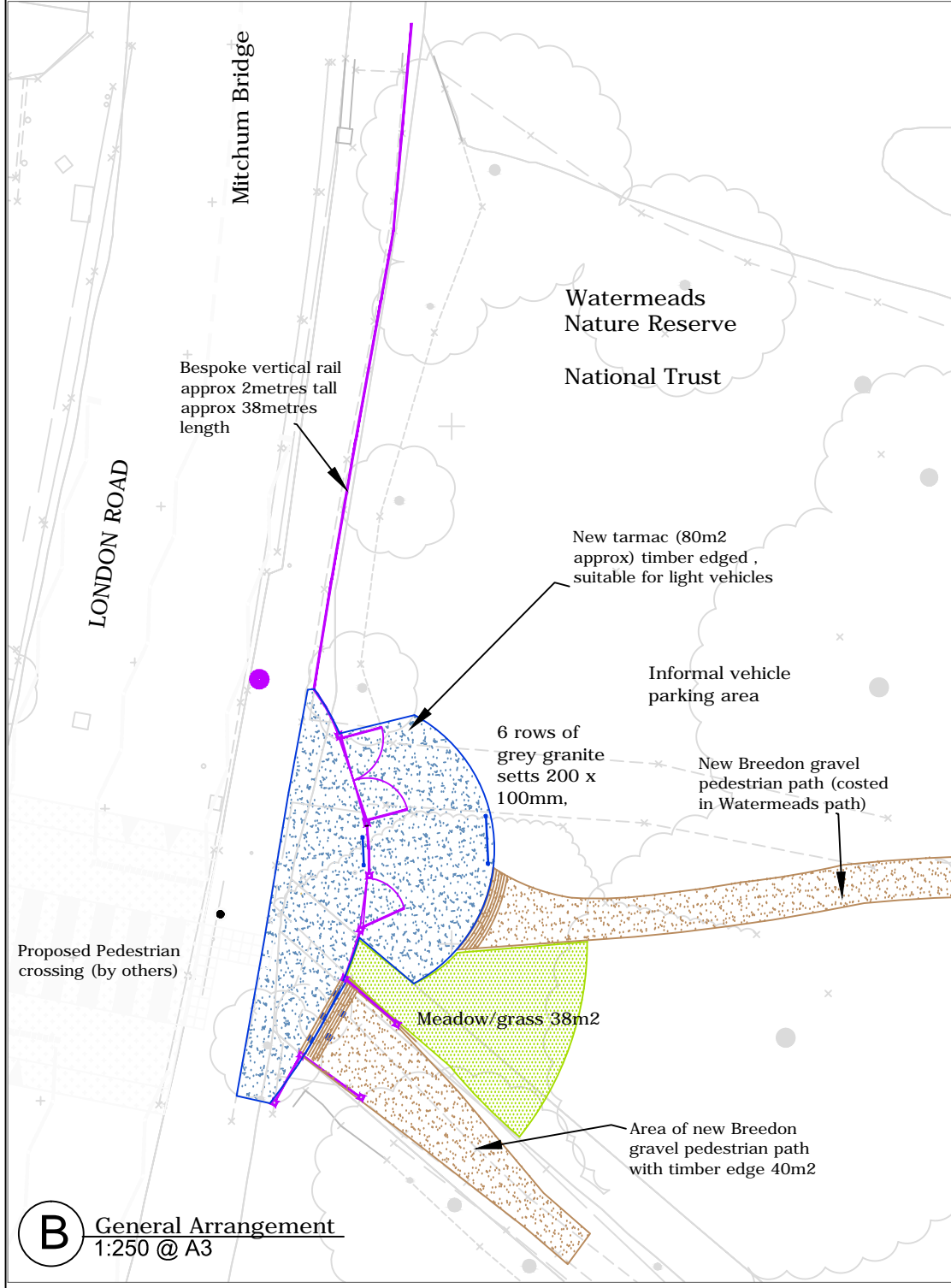
Existing bespoke railings on Mitchum bridge

Bespoke railings designed with similar proportions to and with similar finials to the existing historic railings on Mitchum Bridge

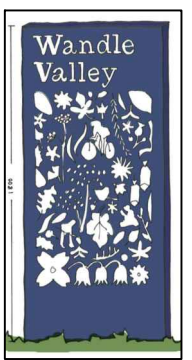
A PROPOSED BESPOKE GATES and RAILINGS 1:200 @ A3



Pedestrian entrance to Public Footpath with cycle barrier composed of staggered timber bollards



- RAILING NOTES**
- All metal work to be mild steel
 - Dimensions for all new metalwork construction are given as approximate only for measurement.
 - Contractor to recommend method of hanging gates to avoid theft
 - metal works are to be carried out by a specialist Conservation Metalworker.
 - Pales 20 diameter, king 50mm solid. King posts to have backstays.
 - Foundation sizes for king posts to be determined by engineer



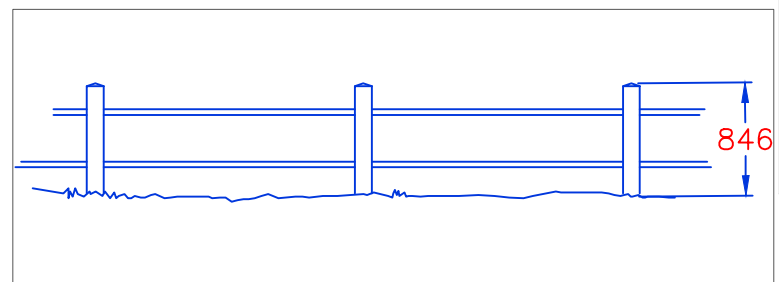
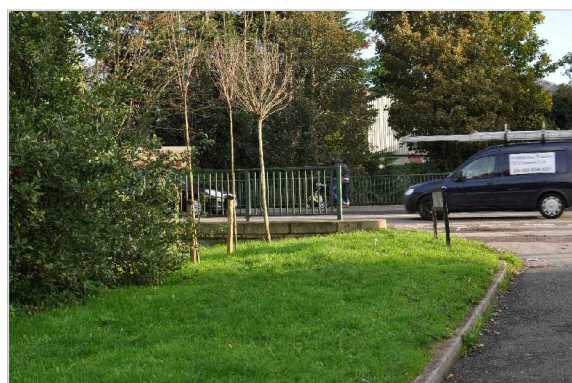
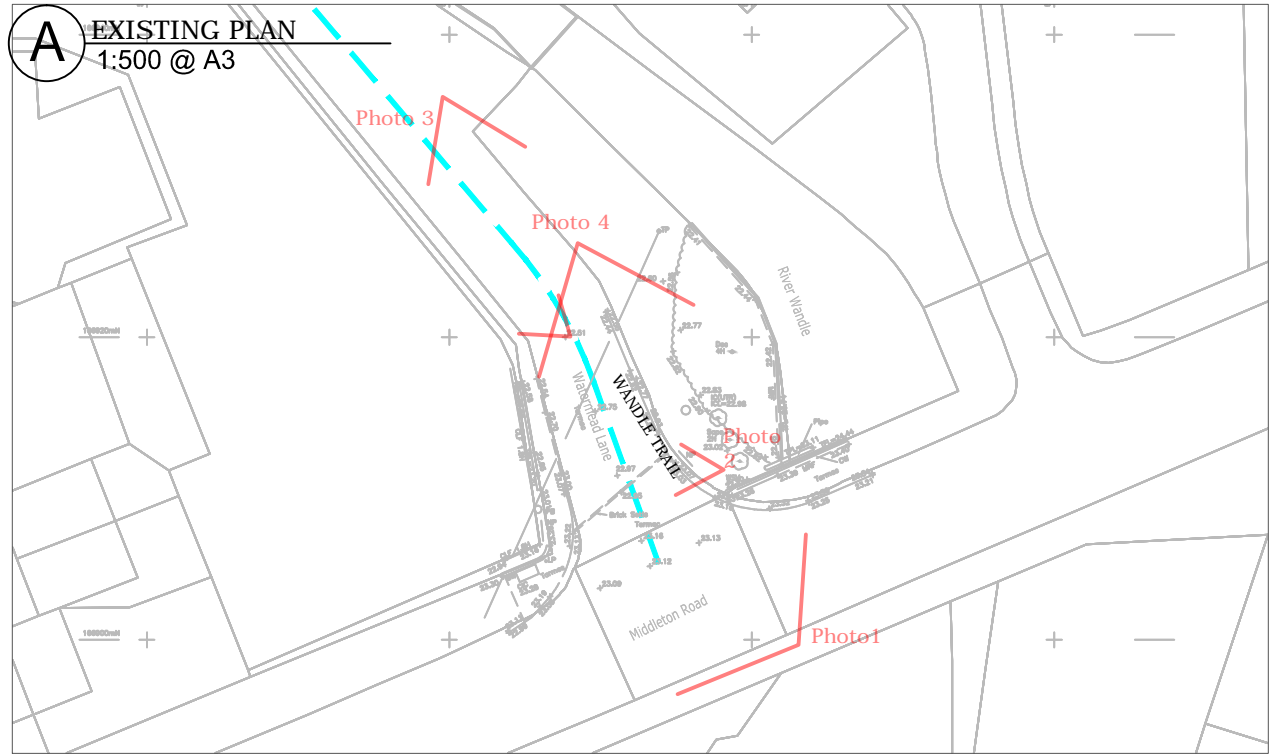
- TIMBER BOLLARDS**
- Durable hardwood Furnitubes
 - Epping range ESP 175/1200 800mm above ground 400mm below ground.
 - With groove and reflective strip and reflective DTP 'no cycling' sign plates

- DEMOLITION NOTES**
- Allow to remove existing vertical rail and gates
 - Allow to remove existing pedestrian guard rail
 - Allow to remove existing Wandle Trail sign
 - Remove existing spiral entrance feature and 6 metre section of galvanised vertical rail

Iss	Date	Issue Notes	~	~	~
D	28.04.14	Revised scheme, cost reduction design changes	LJ	LJ	AW
C	10.04.14	Revised scheme	LJ	LJ	AW
B	18.03.14	First Issue	LJ	EJ	AW
A	18.01.14	First Issue	AS	EJ	AW

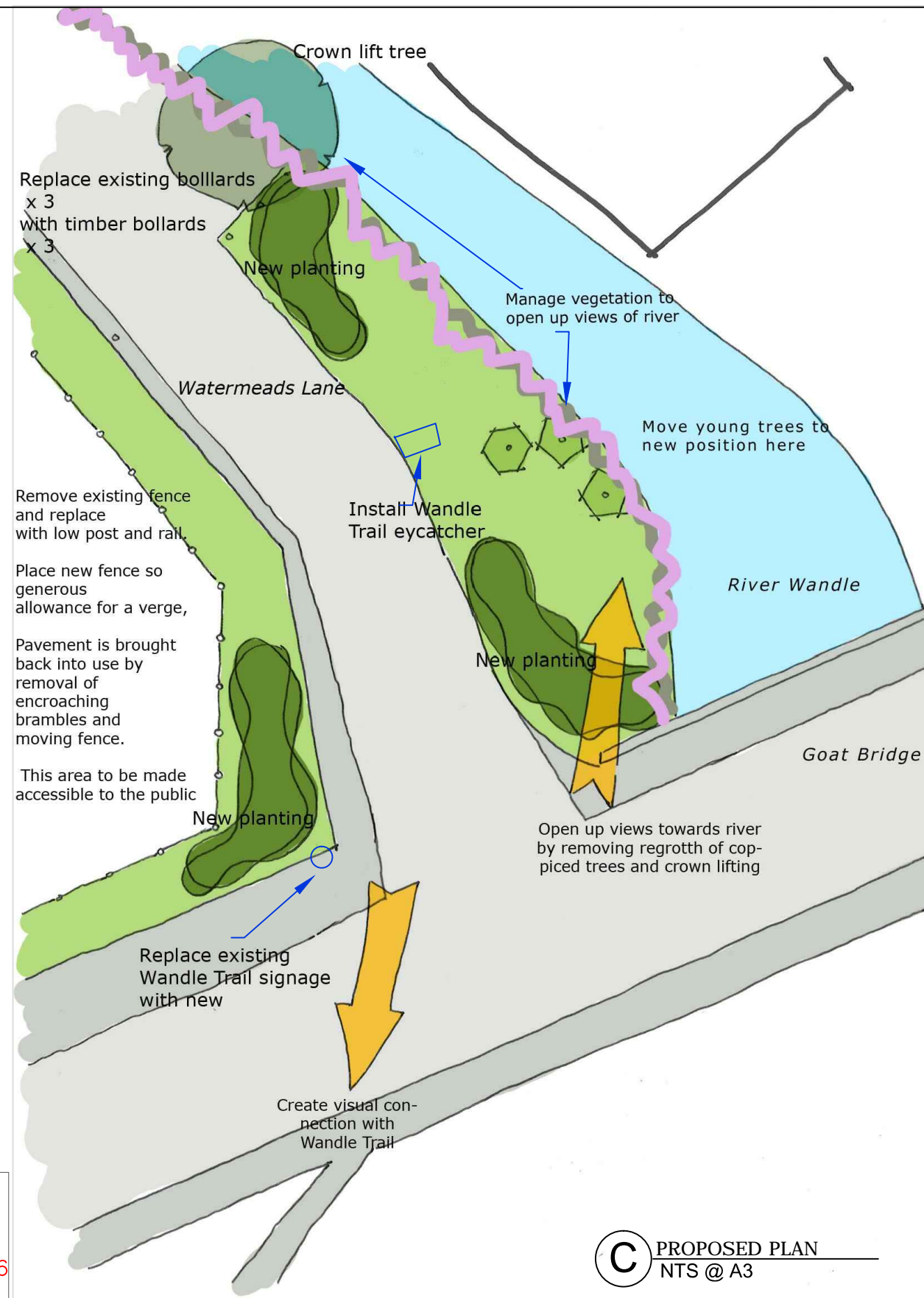
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Project		
The Wandle Valley Big Green Fund Project		
Client		
London Borough of Sutton		
Title		
London Road, Watermeads, PROW Gateway (PROJECT 3j)		
Scale	Status	
Varies@A3	Information	
Job No.	Drawing No.	Issue
5885.01	312	D



New Metal rail and timber post rail fence
approx 850mm tall.
Metal 41.5mm diam rails to be painted / powder coated invisible green.
Posts tannalised softwood with 125 mm square planed finish

B EXISTING ENTRANCE PHOTOS



Low Shrub Planting

PROPOSALS

Vegetation clearance and crown lifting on river side to open up views. Relax mowing regime on existing grass to create meadow, with mown verges.

Move 3 recently planted saplings to new position.

Remove low brick wall and chain link fence, see photo 2 and put up a new post and horizontal bar fence (see detail) with 3 gaps so the space inside can be accessed.

Note area not accessed yet some regrading may be needed.

The new fence line is to be moved away from road and pavement to open up this corner and create a verge next to the existing pavement.

The brambles and scrub along line of existing fence and 3 metres inside to be cleared and reinstated to mown grass.

*The fenced off land is council owned and it may be possible to open this area up as a small green space. There is Japanese Knotweed in there and it will need to be treated.

New low height shrub planting beds (*Cornus stolonifera* 'Flaviramea', *Cornus sanguinea* 'Midwinter fire', *Cornus alba* 'Elegantissima'). As shown on plan.

Replace existing bollards with Wandle Big Green Fund timber bollard Furniturbes Epping see photo.

Install Wandle Valley Eyecatcher and Wandle trail signs

C	25.04.14	Revised proposals plan and text additional details	LJ	EJ	AW
B	04.04.14	Second Issue	AS	EJ	AW
A	17.02.14	First Issue	AS	EJ	AW
Iss	Date	Issue Notes			

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Wandle Valley monolith eyecatcher sign



General design for Finger post, actual board to made specific to location



Epping Hardwood bollard for spec see dwg 407

Project
The Wandle Valley
Big Green Fund Project

Client
London Borough of Sutton

Title
Project 1M Goat Road Crossing and park/trail entrance (Watermeads Lane)

Scale
1:200@A3

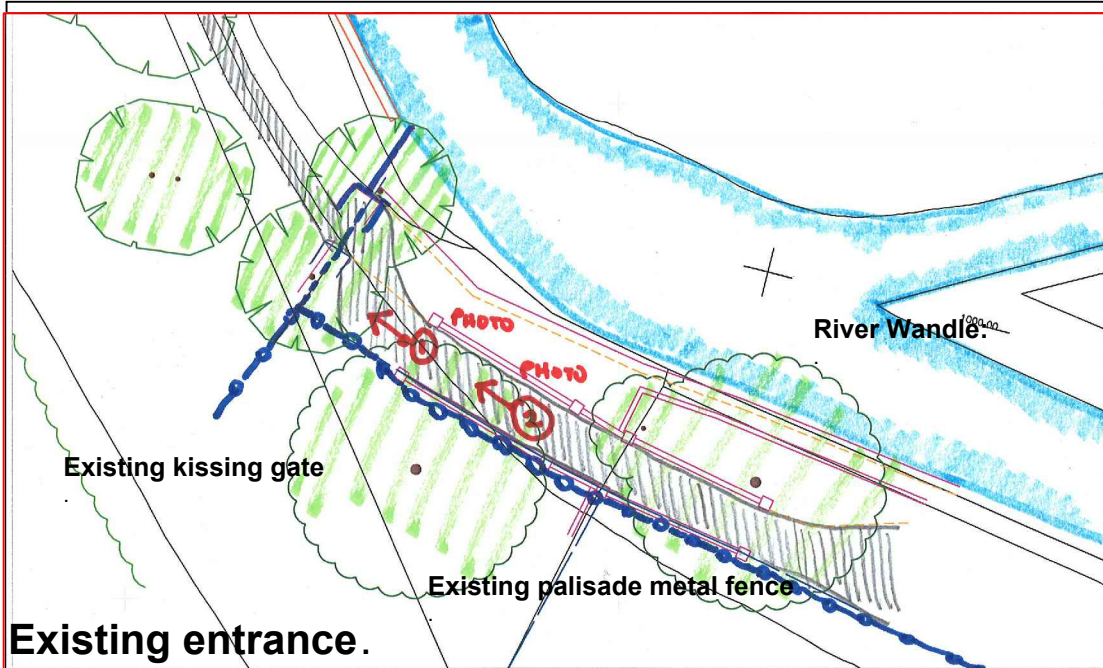
Status
Draft

Job No.
5885.01

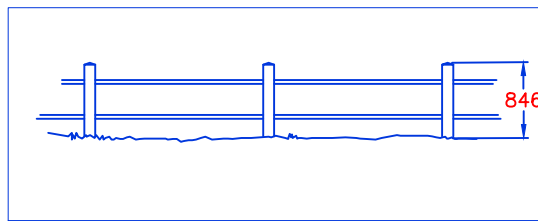
Drawing No.
307

Issue
C

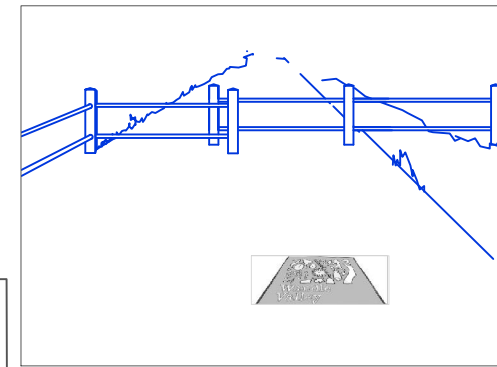
Do not scale from this drawing
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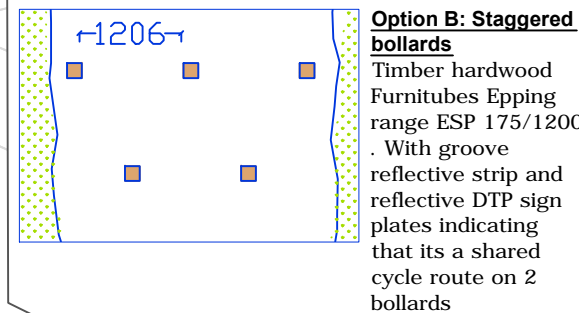
Existing entrance.



New Metal rail and timber post rail fence
 approx 850mm tall.
 Metal 41.5mm diam rails to be painted / powder coated invisible green.
 Posts tannalised softwood with 125 mm square planed finish



Option A: Chicane constructed in the same style as the Metal rail and timber post fence, in the foreground possible in-ground wandle trail marker



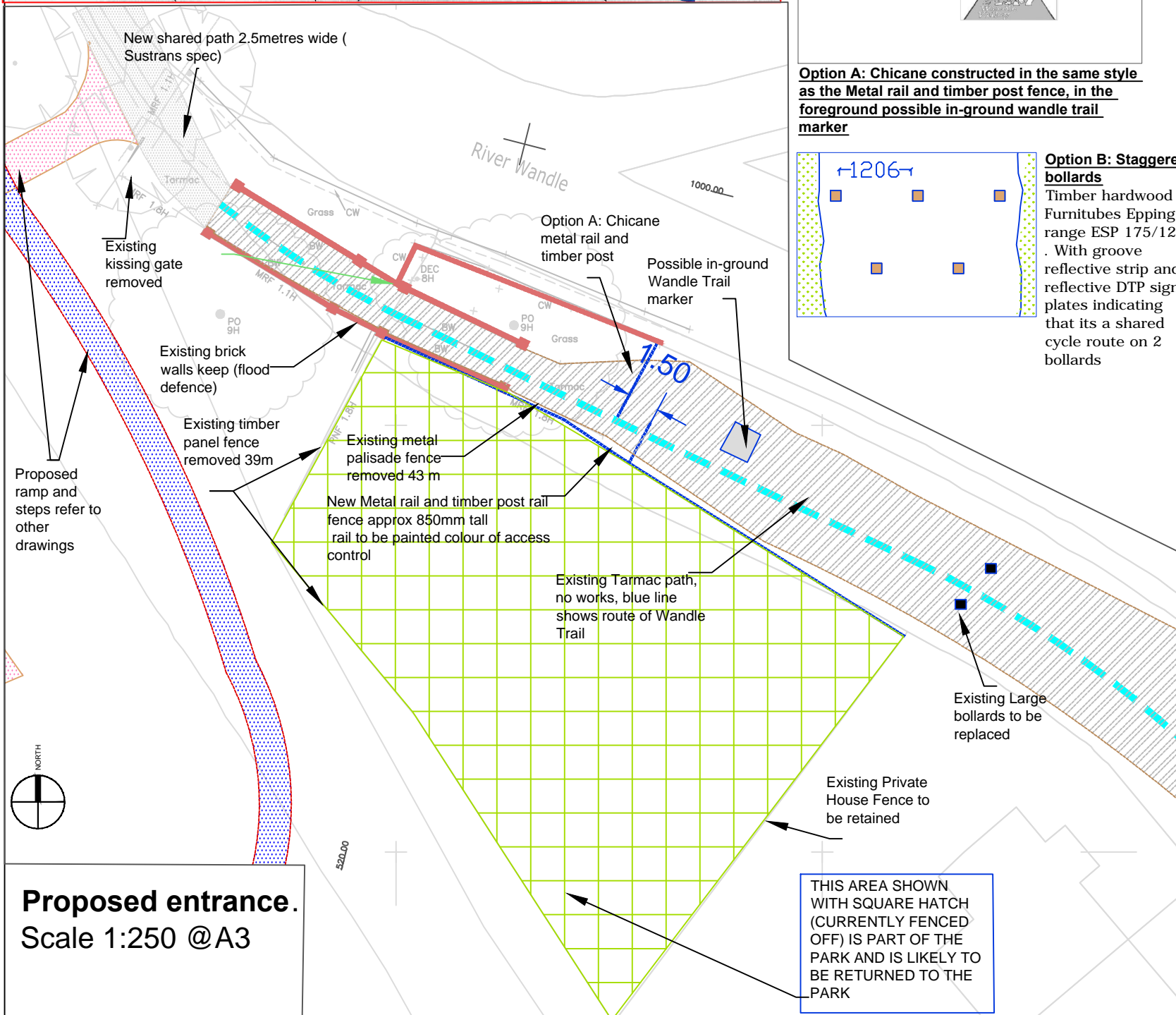
Option B: Staggered bollards
 Timber hardwood Furnitubes Epping range ESP 175/1200 . With groove reflective strip and reflective DTP sign plates indicating that its a shared cycle route on 2 bollards



Photo 1: Existing vertical rail with kissing gate: To be removed



Photo 2: Existing entrance :Brick walls to be retained part of flood defence, green palisade fence to be removed



Proposed entrance.
 Scale 1:250 @A3

THIS AREA SHOWN WITH SQUARE HATCH (CURRENTLY FENCED OFF) IS PART OF THE PARK AND IS LIKELY TO BE RETURNED TO THE PARK

- Notes:**
1. Do not scale from this drawing.
 2. All dimensions must be checked on site and any discrepancies verified with landscape architect.
 3. All dimensions are drawn in mm.
 4. Landscape drawing only.
 5. All materials/items used to be as specified or alternatives to be approved by landscape architect.

Sustrans carried out a public consultation on improvements to this access point for the new shared path in June 2013. The objective of the access barrier is to allow cyclists to pass through it without demounting and to allow access for mobility scooters, wheel chairs and buggies. The present barrier, the metal kissing gate prevents access by motorcycles but also prevents access by mobility scooters.

The proposal on this sheet aims to show a simple low key scheme. The public voted for bollards with a chicane as a close second.

Signage is proposed to say motorcycles are not allowed.

Demolition remove existing low vertical rail and kissing gate. Remove existing metal palisade fence and close boarded fence

Option A Chicane

Option B Staggered bollards

Install new post and rail fence along line of old palisade fence or set back to allow verge. This is to prevent motorcycles accessing the park. Allow for removal of existing large bollards further down path (prevents vehicles) see photo and replacement with new bollards . Allow for removal of redundant signage and old posts etc. and minor scrub clearance . Allow for new signage Welcome to Poulter Park and Wandle Trail waymarker

Iss	Date	Issue Notes	AS	EJ	AW
C	24.04.14	Chicane instead of U shaped access, other changes	EJ	EJ	AW
B	10.04.14	Revised Fencing removed access control moved	EJ	EJ	AW
A	19.02.14	First Issue	AS	EJ	AW

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Project		
The Wandle Valley Big Green Fund Project		
Client		
London Borough of Sutton		
Title		
Watermeads Lane Project 1m Gateway to Poulter Park		
Scale	Status	
1:200@A3	Information	
Job No.	Drawing No.	Issue
5885.01	305	C

Do not scale from this drawing
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Wandle Valley Gateways – Waddon Ponds

Management and Maintenance Plan 2018



Background

Waddon Ponds is a 3.09 hectare site situated within a mixed residential, retail and industrial area in London Borough of Croydon (LBC), approximately one mile from the town centre. The site is dominated by a large pond, which due to its shape and bridge connections, appears to be three ponds. The park is well used as a place to meet, watch wildfowl, walk the dog, play in the children's area or use as a shortcut through to the nearby Purley Way.

The site is managed and maintained by LBC and term contractors for grounds maintenance and facility management. The Conservation Volunteers (TCV) undertake a number of volunteer days at each site each year as per an annual work programme provided by LBC.

Waddon Ponds and the Living Wandle Landscape Partnership Project

Wandle Valley Regional Park Trust and Groundwork London are both partners in a Heritage Lottery Funded scheme called the Living Wandle Landscape Partnership Scheme (LWLPS) to deliver a series of improvement projects along the length of the River Wandle. The over-arching aim of the scheme is to reconnect local people with the River, which flows through Sutton, Croydon, Merton and Wandsworth where it joins the Thames.

The LWLPS project provided funding, along with funding from Croydon Council and Wandle Housing to enable the following improvements to be made at Waddon Ponds -

- *Create a more naturalistic setting through planting and new seating*
- *Create improvements to the Mill Lane entrance which will provide better links to cycling and walking routes to improve access to the Wandle trail and wider Wandle region. This has been achieved by resurfacing paths, new railings and painting existing railings*
- *Provide way finding through Wandle Valley monoliths, plaques and new signage.*

The daily success of the onsite food van suggests the Mill Lane entrance is well used by regulars, particularly workers and dog walkers so the improvements will definitely be beneficial. The improvements will encourage new users to the Park and will therefore increase access to the trail and wider regional park.

The project secured additional funding from Wandle Housing and Section 106 money which enabled a full programme of works to take place. By partners working together on a site that is not well known, it has enabled its profile to be raised which will continue on a long term basis.

Maintenance and Management

Works were completed in March 2018 and to ensure sustainability of this project, a management and maintenance plan has been produced. Groundwork London have created the plan on behalf of WVRPT, Croydon Council and Wandle Housing. The maintenance of the new facilities, which essentially replace old ones, will be absorbed within existing revenue budgets of Croydon Borough Council and therefore cannot be itemised. All tasks will be supported by operations that are included within the existing contracts with the council's term contractors including grounds maintenance, facility management and highways to maintain the site.

Key

- LBC – London Borough of Croydon
- ALT – Active Lifestyle Team (LBC)
- TC – Term grounds maintenance contractor/ facility management/ highways
- TCV – Trust for conservation volunteers

What needs to be maintained/managed?	What work is involved?	Who will do this?	When and how often?	What resources are required?	Value of this?	Proof of value and agreement from delivery partner
New entrance gates and railings	Keep clear from graffiti, dirt etc	TC	Quarterly as per highways contract	Within contract		Co signatories to the covering letter
Resurfaced paths	Regular sweep with stiff brush & water/jet wash	TC	Quarterly as per highways contract	Within contract		Co signatories to the covering letter
Truckpave 80 cellular paving	Check that plastic pavers have not lifted.	TC	As required	Within contract		Co signatories to the covering letter
Sign	Keep clear from graffiti, dirt etc	TC	Quarterly as per facilities contract	Within contract		Co signatories to the covering letter
Monolith and plaques	Keep clear from graffiti, dirt etc	TC	Quarterly as per facilities contract	Within contract		Co signatories to the covering letter
New bench	Keep clear from graffiti, dirt and vandalism	TC	Quarterly as per facilities contract	Within contract		Co signatories to the covering letter
Information about the site to be kept up to date	Update website as required. Amend signage if information requires updating	ALT	As required.	Live Well Project Manager to update website		Co signatories to the covering letter

Planting around new entrance works	Weed clearance Litter clearance Check plants for pest & disease	TC	Monthly as per grounds maintenance contract	Within contract		Co signatories to the covering letter
Planting around new entrance works	Top up mulch	TC	Annually as per grounds maintenance contract	Within contract		Co signatories to the covering letter
Goose management	Retain protective fencing around planting until well established.	TC	Keep fencing for 12 month min – approx. March 19	Within contract		Co signatories to the covering letter
Management and maintenance plan	M&M plan distributed to streets contract team and active lifestyle team	ALT and Livewell Project Manager	March 18 and then annually	Livewell Project Manager to review plan annually		Co signatories to the covering letter
Monolith and plaques	Keep clear from graffiti, dirt etc	WVRPT	As and when required. Annual routine check.	HLF volunteer rate - £25 for half a day based on unskilled volunteer rate x 2 Volunteers	£500.00	Co signatories to the covering letter

Operations managed by London Borough of Croydon

Grounds maintenance

Paul Rest
Contract Officer, Streets
Public Realm Offices
Stubbs Mead Depot
Factory Lane
Croydon, CR0 3RL

Volunteer activities

Meike Weiser
Community Conservation Partnership Officer
Active Lifestyle team
Bernard Weatherill House
Croydon, CR0 1EA

Volunteer activities

Wandle Valley volunteers
Wandle Valley Regional Park Trust
The Old Bookshop
Morden Hall Park
SM4 5JD

Plan prepared by

Rupal Shah
Groundwork London
18-21 Morley Street
London, SE1 7QZ



CROYDON
www.croydon.gov.uk



DRAWING ISSUE SHEET

Project title:

Wandle Gateways – Waddon Ponds

Site:

Waddon Ponds, Mill Lane, Croydon, CR0 4AA

Project ref: CR012

Issue status:

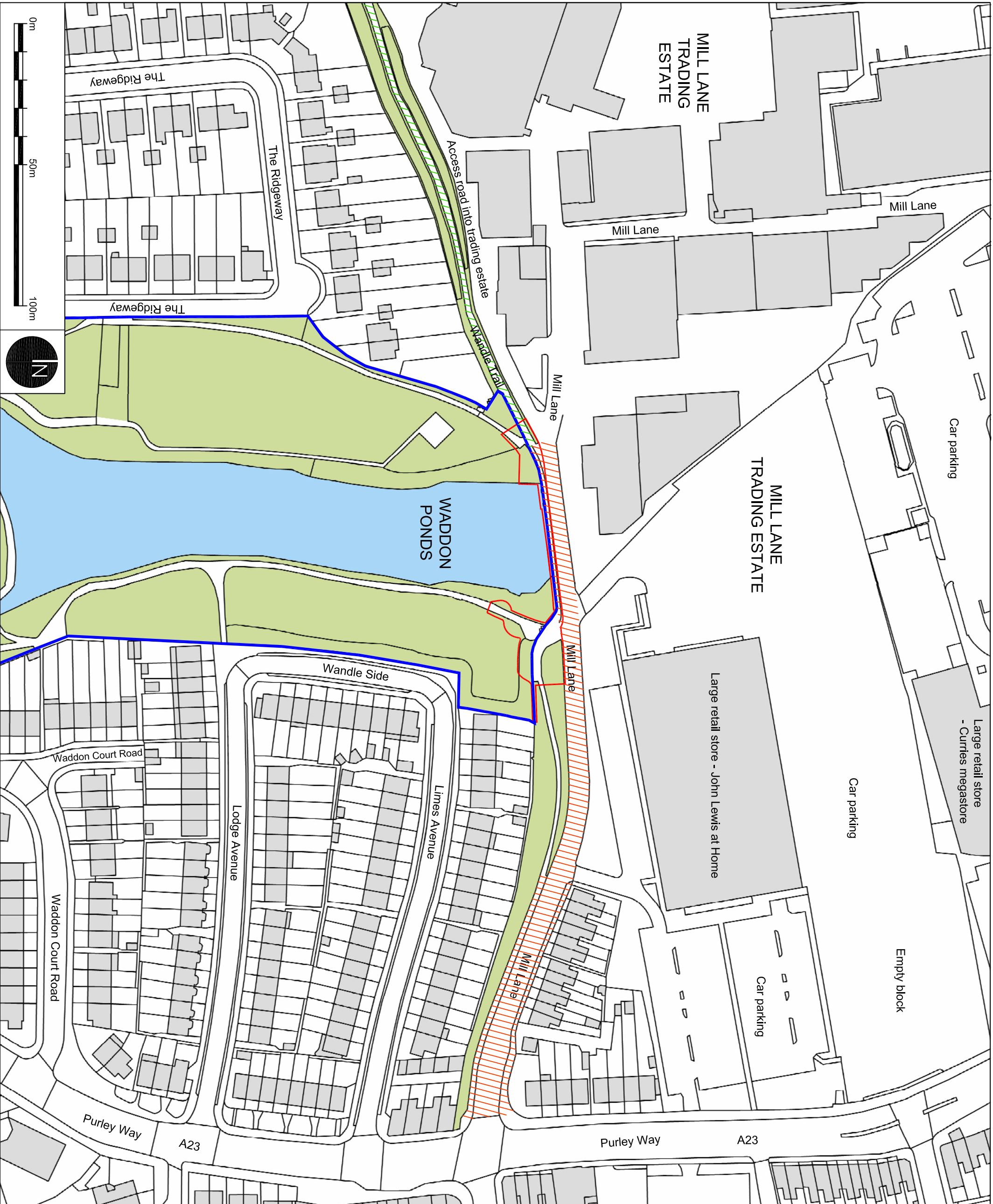
Date of issue:

1. Information	4. Billing	17							
2. Approval	5. Tender	08							
3. Planning	6. Construction	07							

Drawing / Document Title:	No								
Site Location Plan	001	A							
Existing Site Plan – Mill Lane Entrance	100	X							
Existing Site Plan – Wandle Trail Connection	101	X							
General Arrangement – Mill Lane Entrance	102	X							
General Arrangement – Wandle Trail Connection	103	X							
Brick Wall Details – Mill Lane Entrance	104	X							
Railing Details – Mill Lane Entrance	105	X							
Wall and Railing Details – Wandle Trail Connection	107	X							
Planting Plan – Mill Lane Entrance	108	X							
Clearance Plan – Mill Lane Entrance	109	X							
Clearance Plan – Wandle Trail Connection	110	X							
Existing Site Photos		X							
NBS Preliminaries		X							
NBS Specification		X							
Schedule of Works		X							
Designers Risk Assessment		X							

Distribution: * electronic issue

Client: Wandle Valley Regional Park Trust	X								
Landowners/managers: London Borough of Croydon	X								
Stakeholders:									
Funding: Living Wandle Partnership / HLF	X								
Contractors:	X								
Checked by:	M B								



Key	
	Site area
	Waddon Ponds park boundary
	Buildings
	Parks & open space land
	Highways land
	Public bridleway
	Water body

- Notes:
1. The site is located at grid reference TQ30959 65268.
 2. The nearest postcode to the site is CR0 4AA.
 3. Vehicular access to the site for construction vehicles would be via Mill Lane.

FOR TENDER

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WADDON PONDS - WANDLE GATEWAY

Client: Wandle Valley Regional Park Trust & London Borough of Croydon

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 Fax: 020 7238 7293
 www.groundwork.org.uk/london

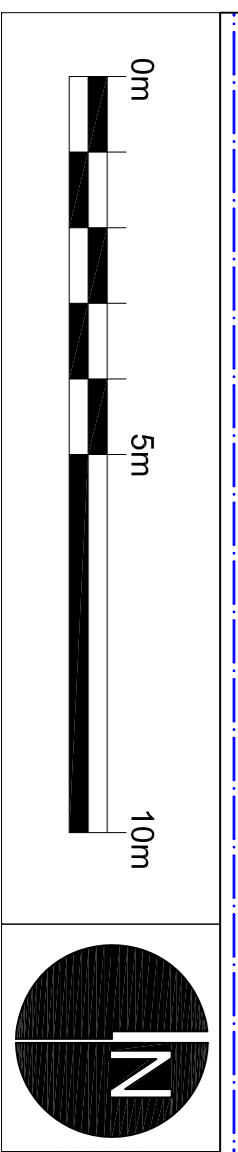
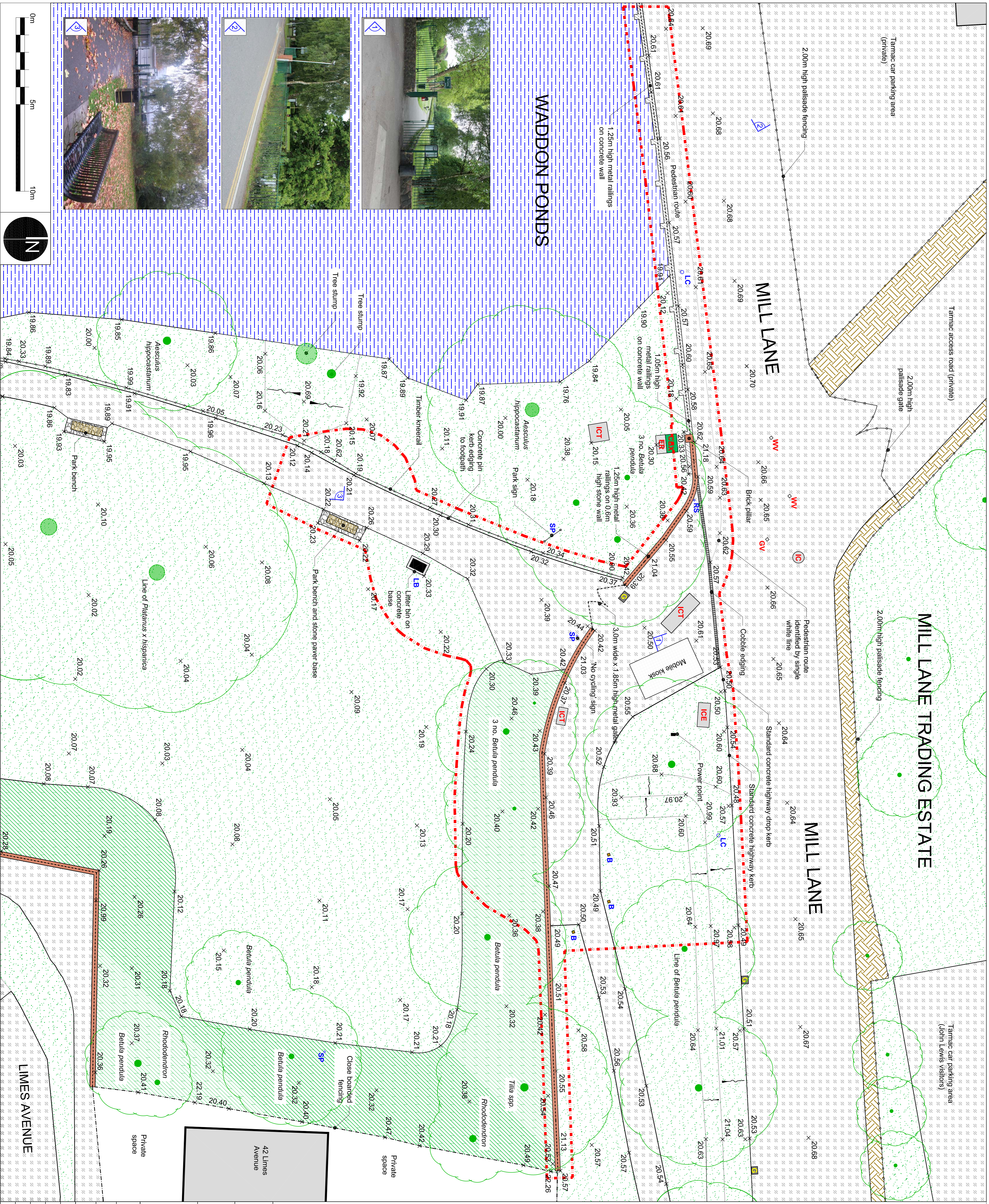


Drawing No. CR012_001 Site Location Plan

Date	Drawn	EO	Rev
18.03.2016			

Scale	Checked	MB	Approved	SD
1:1250 @ A3				

Rev	Date	Description	Checked
A	16.6.2017	FOR TENDER	MB



KEY

- Site boundary
- Tarmac car parking area (John Lewis visitors)
- Buildings
- Water
- 1.25m high metal railings on low concrete wall
- 1.25m high metal railings on 0.5m high stone wall
- Timber kneerail, approx. 0.5m high
- Bimac surfacing
- Concrete surfacing and edging
- Unmade surface
- Grass
- Low grass mounds
- Shrubs
- Trees
- Street furniture - Timber bollards (B), lighting columns (LC), road signs (RS) and sign posts (SP) [Surveyed Dec 2015]
- Inspection covers for below ground services - General (CO), electrical (CE), telecom (CT), control box (CBX) [Surveyed Dec 2015]
- Gullies [Surveyed Dec 2015]
- Water and gas valves (WV & GV) [Surveyed Dec 2015]
- Levels [Surveyed Dec 2015]
- View points - photos provided

FOR TENDER

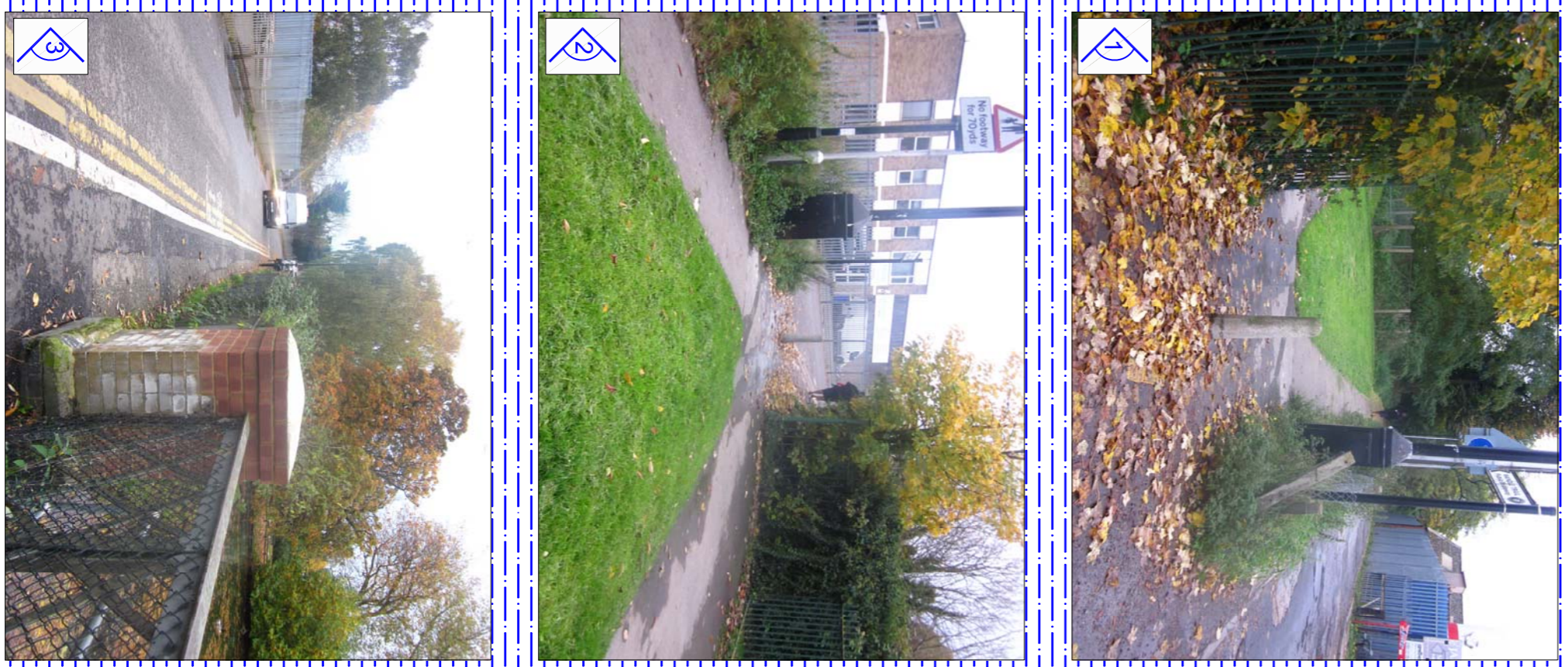
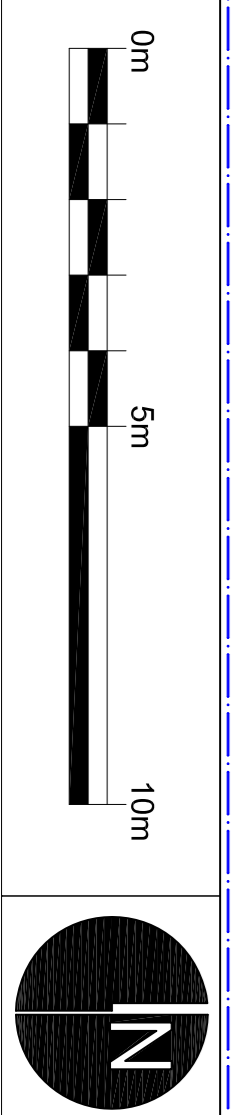
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WADDON PONDS - WANDLE GATEWAY

Client: Wandle Valley Regional Park Trust & London Borough of Croydon

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Date	23.06.2016	Drawn	EO	Rev	
Scale	1:100 @ A1	Checked	MB	Approved	SD
Rev		Date		Description	Checked



KEY

- Site boundary
- Vehicle access to industrial estate
- Buildings
- Water
- 1.80m high metal railings
- 1.25m - 1.50m high metal railings on concrete wall
- Cycle barriers
- Bitume surfacing
- Concrete surfacing and edging
- Grass
- Strands and vegetation
- Trees
- Steel furniture - Timber bollards (B), lighting columns (LC), road signs (RS) and sign posts (SP) (Surveyed Dec 2015)
- Inspection covers for below ground services - General (GC) electrical (GS), telecom (GT), control box (CSX) (Surveyed Dec 2015)
- Gullies (Surveyed Dec 2015)
- Water and gas valves (WV & GV) (Surveyed 2015)
- Levelling (Surveyed Dec 2015)
- View points - photos provided

FOR TENDER

WADDON PONDS - WANDLE GATEWAY

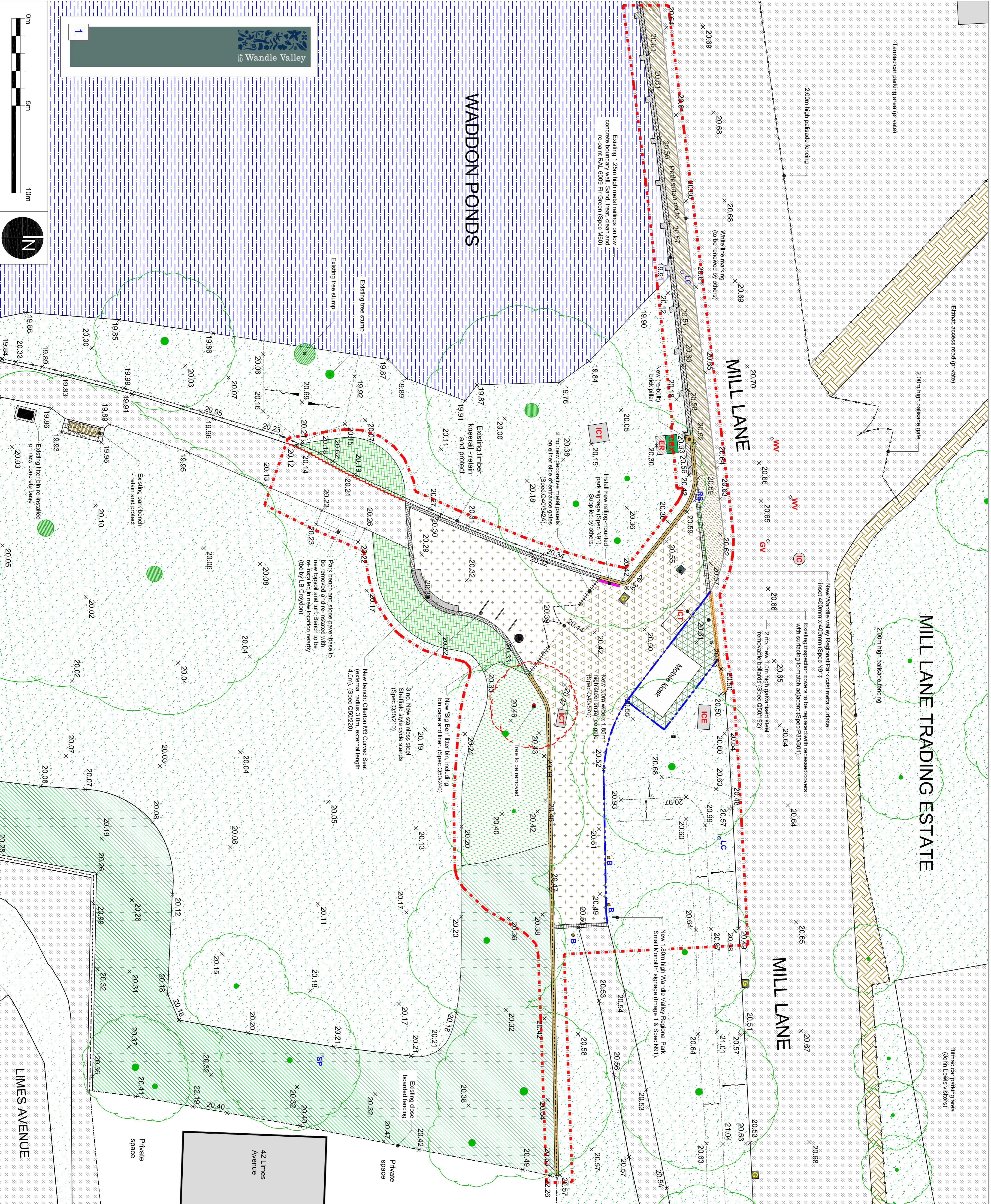
Client: Wandle Valley Regional Park Trust & London Borough of Croydon

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Tel: 020 7289 1280
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Drawing No. CR012_101 Existing Plan-Wandle Trail Connection

Date	23.06.2016	Drawn	EO	Rev	
Scale	1:100 @ A1	Checked	MB	Approved	SD
Rev		Date		Description	Checked

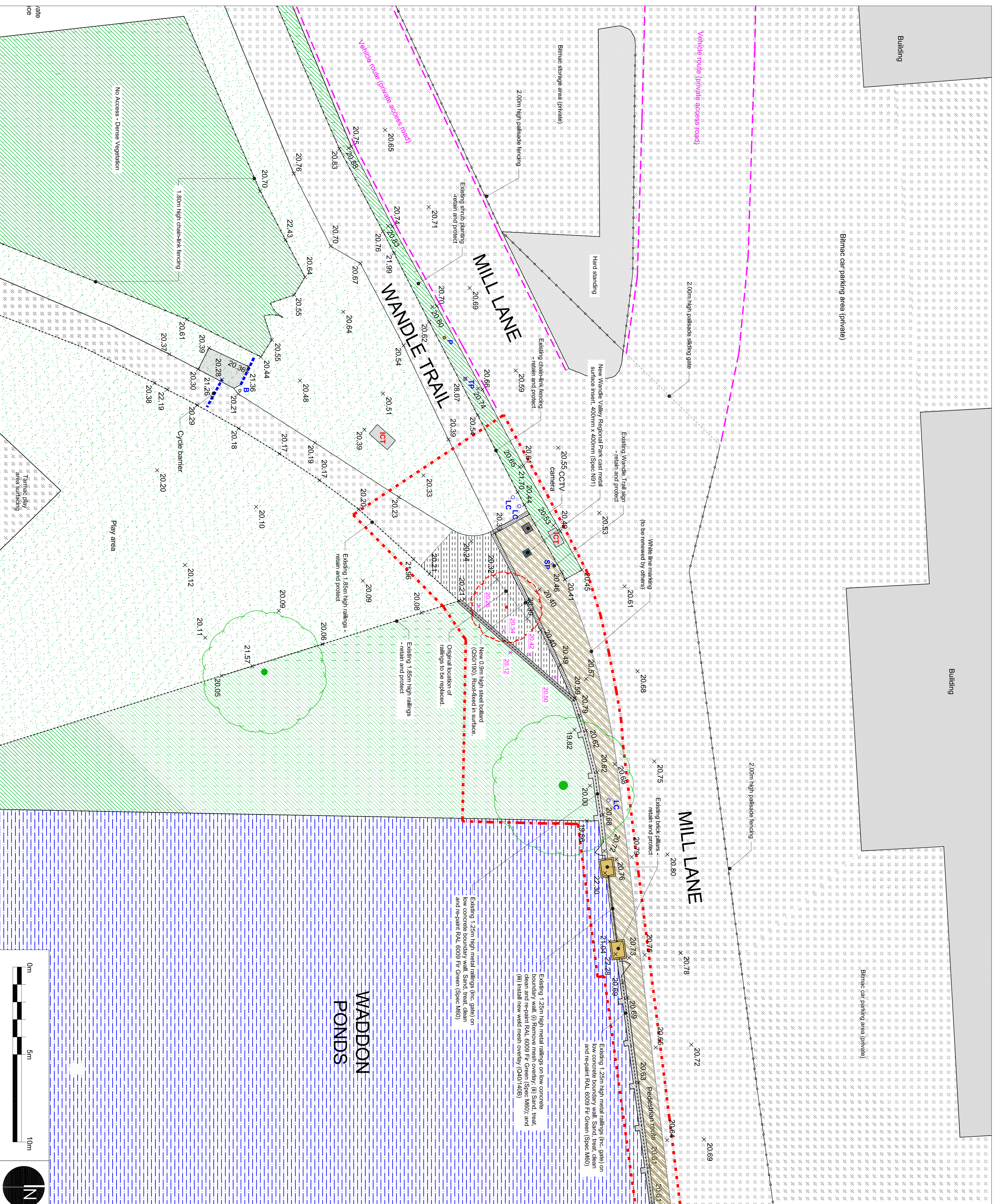
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Rev	Date	Description	Checked	Approved	Checked
	16.06.2017	Drawn	EO	Rev	
		Scale	1:100 @ A1	Checked	MB
		Checked	MB	Approved	MB
		Date			

<p>Groundwork London</p> <p>12 Baron Street London N1 5AF Tel: 020 7733 1515 Fax: 020 7733 1515 www.groundwork.org.uk/london</p>	<p>WADDON PONDS - WANDLE GATEWAY</p> <p>Client: Wandle Valley Regional Park Trust & London Borough of Croydon</p> <p>Drawing No. CR012_102 GA Plan-Mill Lane Entrance</p> <p>Date: 16.06.2017</p> <p>Scale: 1:100 @ A1</p>
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KEY

- Site boundary
- Water - protect against disturbance and pollution - address rates in Risk Assessment & Method Statements (RAMS)
- Buildings
- Bitmac surfacing
- Concrete surfacing and edging
- Grass
- Low grass mounds
- Shrubs
- Traces to be protected to BS 5837:2012
- Street furniture - Timber bollards (B) lighting columns (LC), road signs (RS) and sign posts (SP)
- Inspection covers for below ground services - General (IC), electrical (ICE), telecom (ICT), control box (CBX). Refer to annotations for details of replacement service covers.
- Gullies (Surveyed Dec 2015)
- Water and gas valves (WV & GV) (Surveyed Dec 2015)
- Levels (Surveyed Dec 2015)

Existing - refurbish

- 20.57 Sand, clean and re-paint (RAL9006 Fk Green) existing 1.25m high metal railings on low concrete wall (Spec M80)

Proposed

- 20.2 New 1.85m high solid vertical steel bar railings (Q40/34.1N) with fence posts fixed into new reinforced concrete retaining wall - refer to drawing CR012_107 for details.
- 20.2 New resin bonded aggregate surfacing (Q23/180) laid on new macadam surface course, over existing macadam binder and base courses.
- 20.2 New 100 x 100 x 50mm sandstones set paving (Q29/140) laid in double row on concrete bed and haunch.
- 20.2 New bitmac surfacing. Pedestrian grade wearing and base courses on 150mm MOT Type 1 sub base. Form neat edges against sandstone set paving and existing bitmac.
- 20.2 Proposed levels

FOR TENDER

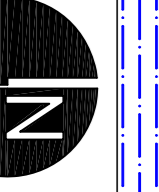
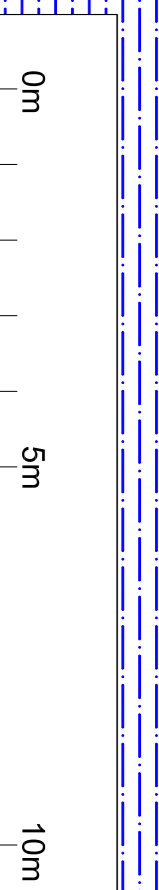
WADDON PONDS - WANDLE GATEWAY

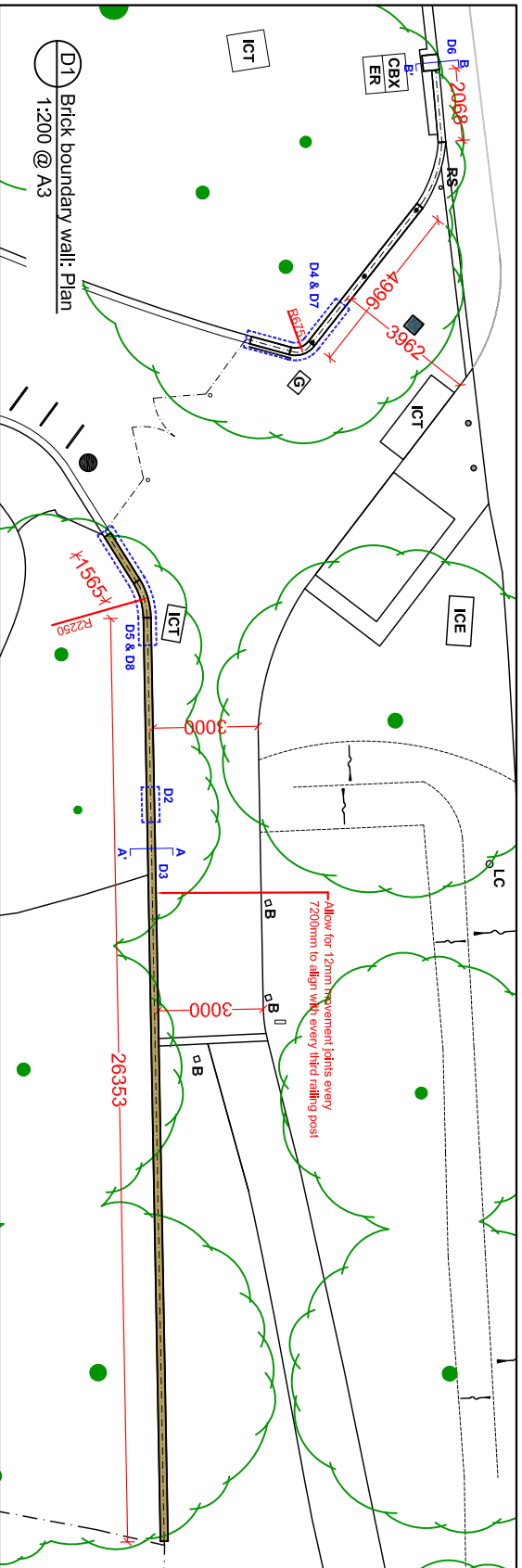
Client: Wandle Valley Regional Park Trust & London Borough of Croydon

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12 Baron Street
London N1 1JN
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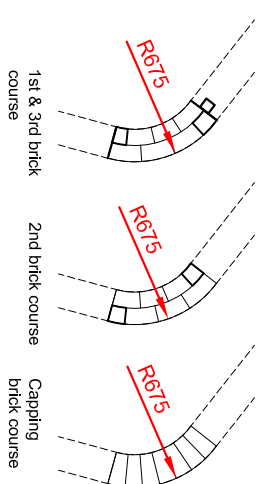
Drawing No. CR012_103 GA Plan-Wandle Trail Connection

Date	16.06.2017	Drawn	EO	Rev	
Scale	1:100 @ A1	Checked	MB	Approved	MB
Rev	Date	Description	Checked	Checked	

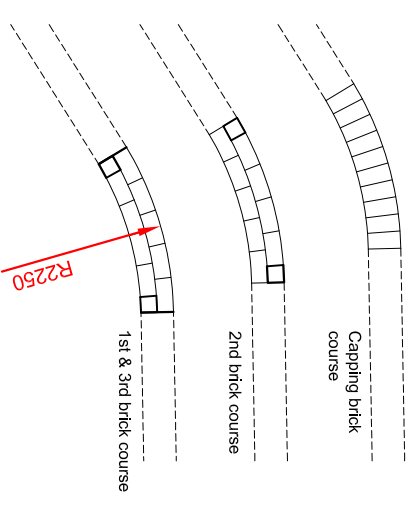




D7 Curved wall west of park entrance: Plan
1:50 @ A3



D8 Curved wall east of park entrance: Plan
1:50 @ A3



Railings shown are indicative - refer to DWG. CR012-105 for details

Railings shown are indicative - refer to DWG. CR012-105 for details

10mm mortar joint, Recessed. Colour: Pale beige (F10/110)

Header course (Terca: Staffordshire Smooth Brown) 215 x 102.5 x 65mm to form capping to wall (F10/110)

New bricks (Terca: Staffordshire Smooth stretcher bond (F10/110))
Engineering bricks: Class B (F10/385)

New resin bound surfacing (Q23/226)

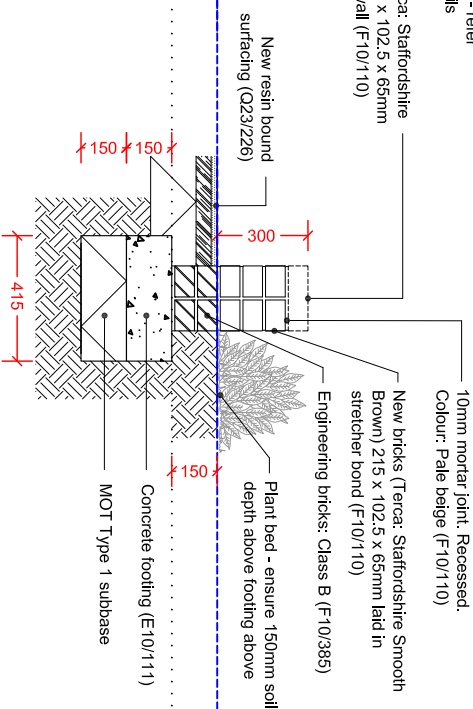
Plant bed - ensure 150mm soil depth above footing above

New bricks (Terca: Staffordshire Smooth Brown) 215 x 102.5 x 65mm laid in stretcher bond (F10/110)

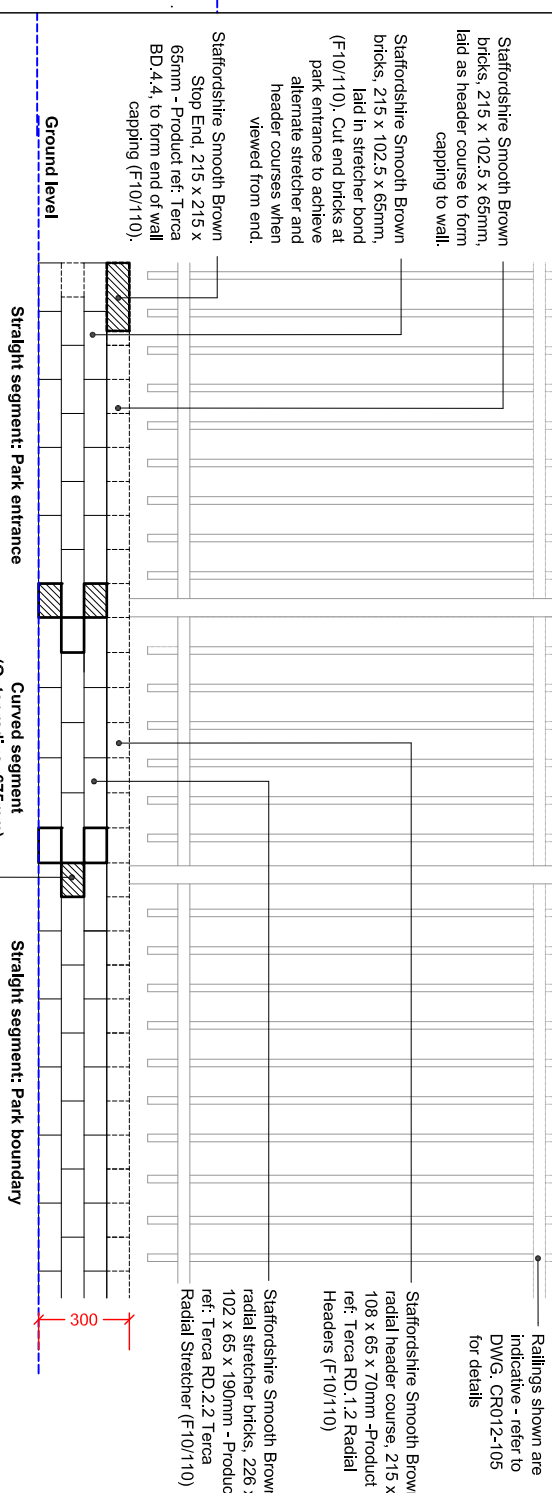
Concrete footing (E10/111)
MOT Type 1 subbase

D2 Brick wall: Elevation
1:25 @ A3

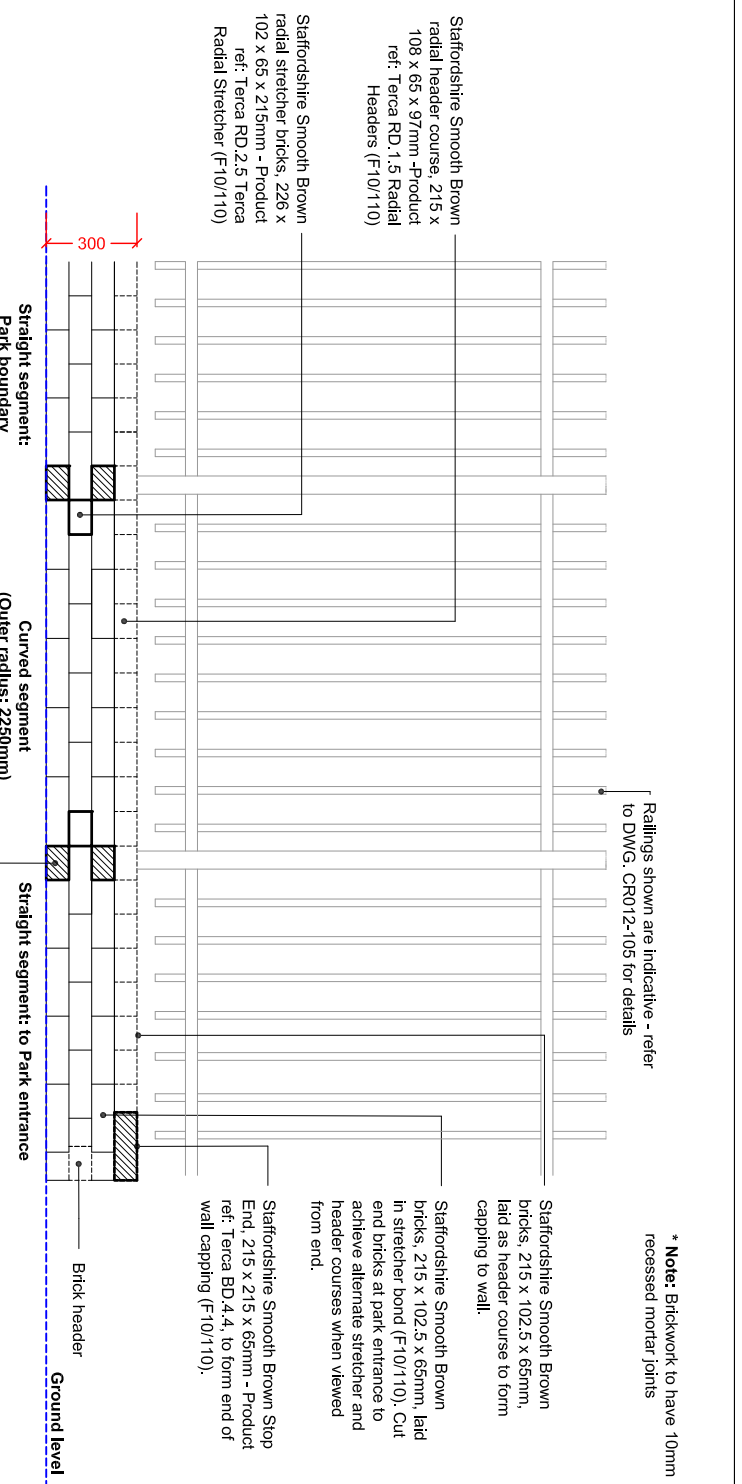
D3 Brick wall: Section A-A'
1:25 @ A3



D4 Brick wall west of park entrance: Elevation looking into the park
1:25 @ A3

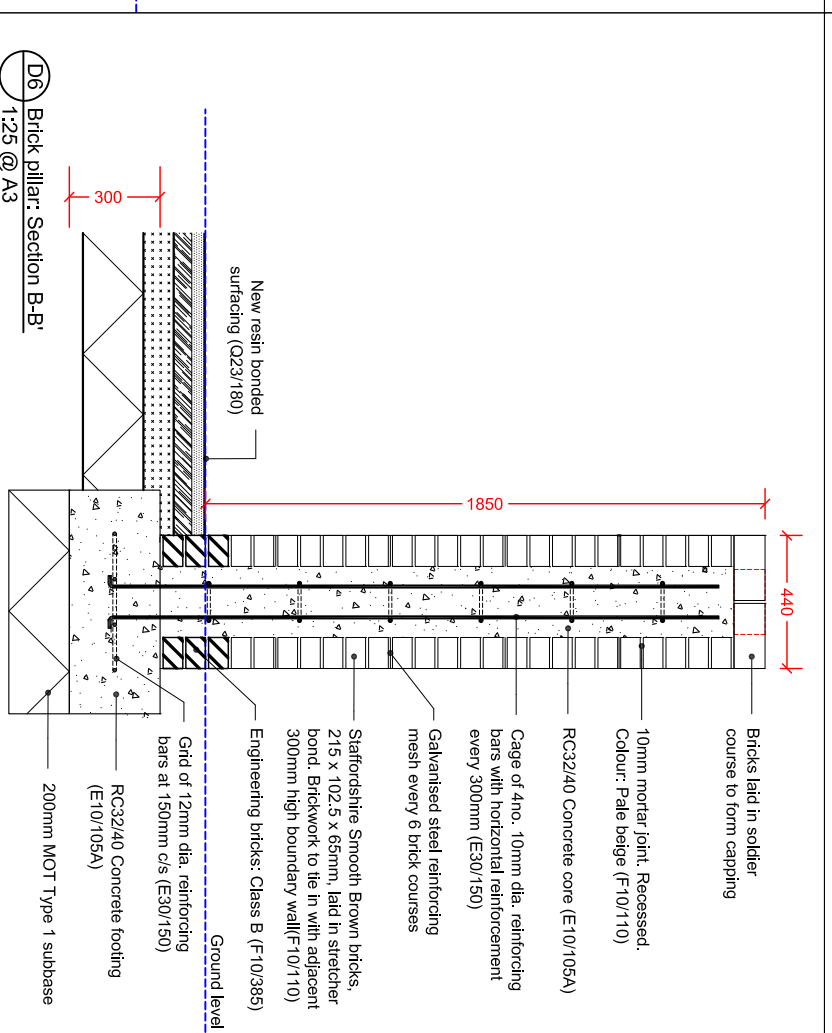


D5 Brick wall east of park entrance: Elevation looking into the park
1:25 @ A3



D5 Brick wall east of park entrance: Elevation looking into the park
1:25 @ A3

D6 Brick pillar: Section B-B'
1:25 @ A3



D6 Brick pillar: Section B-B'
1:25 @ A3

FOR TENDER

WADDON PONDS - WANDLE GATEWAY

Client: Wandle Valley Regional Park Trust & London Borough of Croydon

GROUNDWORK
CREATING THE FUTURE

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Drawing No. CR012_104 Brick Wall Details	
Date: 23.06.2017	Drawn: EO
Scale: See DWG	Checked: MB
Rev:	Approved:
Date:	Checked:

* Note: Brickwork to have 10mm recessed mortar joints

Railings shown are indicative - refer to DWG. CR012-105 for details

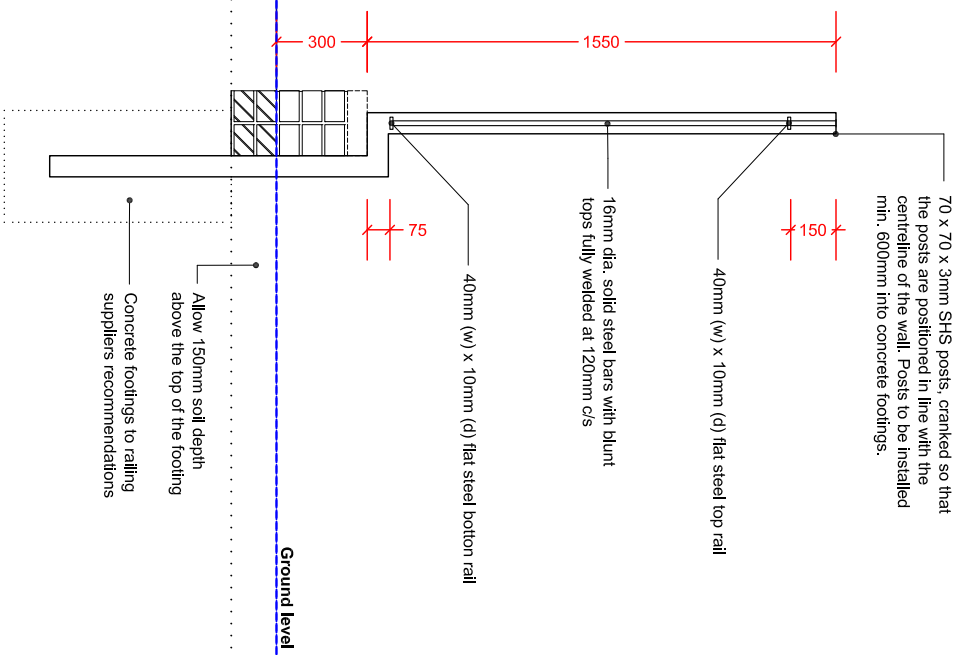
Staffordshire Smooth Brown bricks, 215 x 102.5 x 65mm, laid as header course to form capping to wall.

Staffordshire Smooth Brown bricks, 215 x 102.5 x 65mm, laid in stretcher bond (F10/110). Cut end bricks at park entrance to achieve alternate stretcher and header courses when viewed from end.

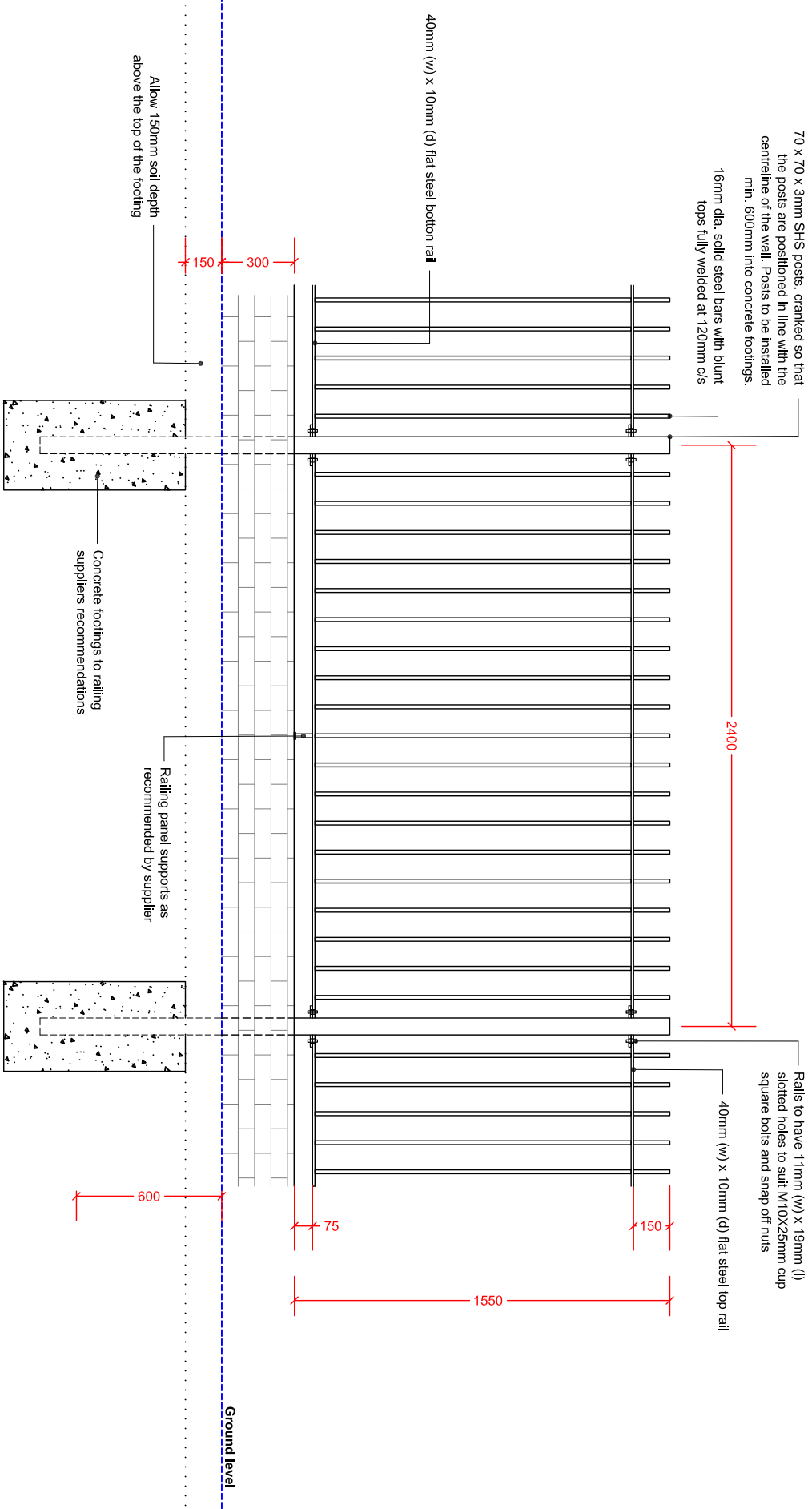
Staffordshire Smooth Brown Stop End, 215 x 215 x 65mm - Product ref: Terca BD.4.4, to form end of wall capping (F10/110).

Staffordshire Smooth Brown half bat bricks, 102 x 102 x 65mm - Product ref: Terca BD.1.1 (F10/110)

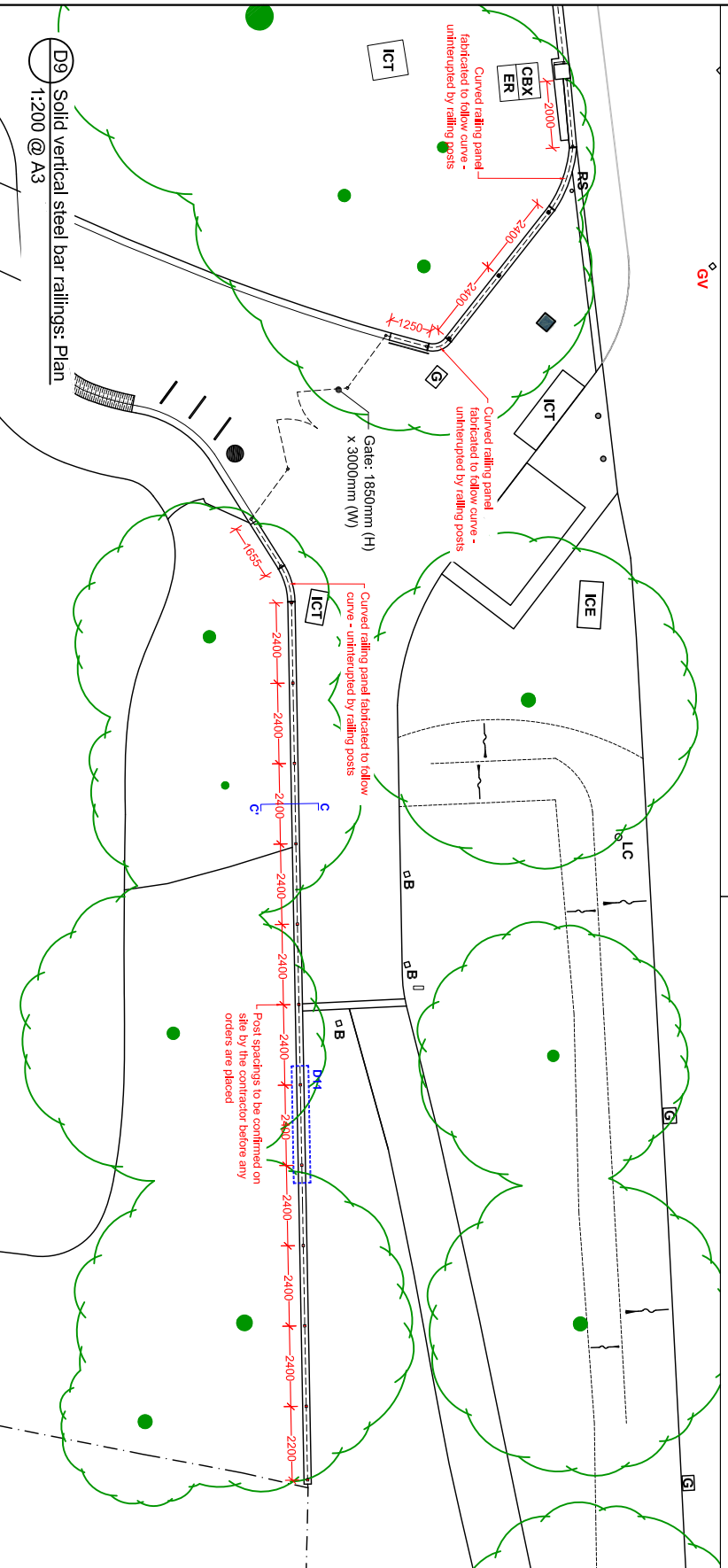
Rev	Date	Description	Checked



D10 Solid vertical steel bar railings (Q40/340A) atop brick wall - standard panel: Section C-C:
1:25 @ A3



D11 Solid vertical steel bar railings (Q40/340A) atop brick wall - standard width panel: Elevation looking into the park
1:25 @ A3



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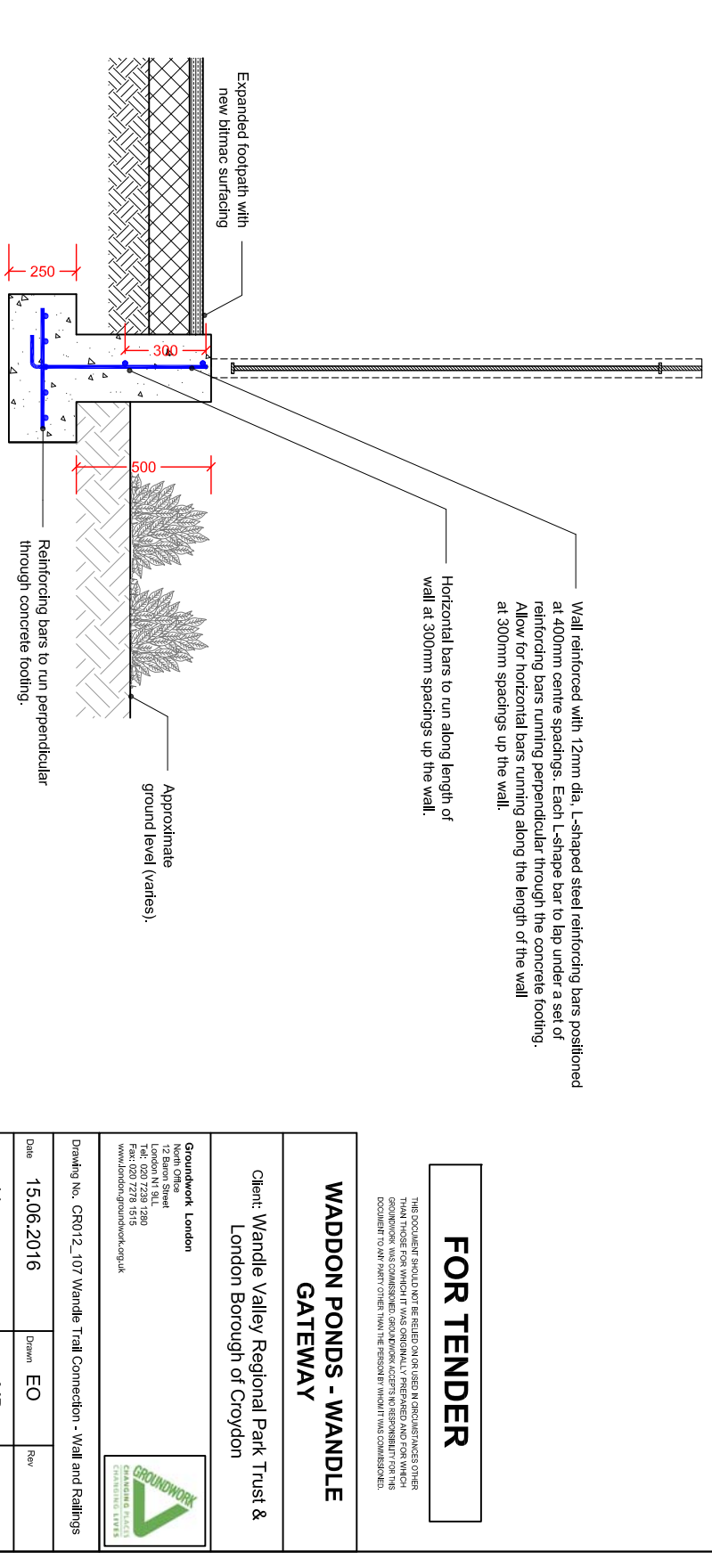
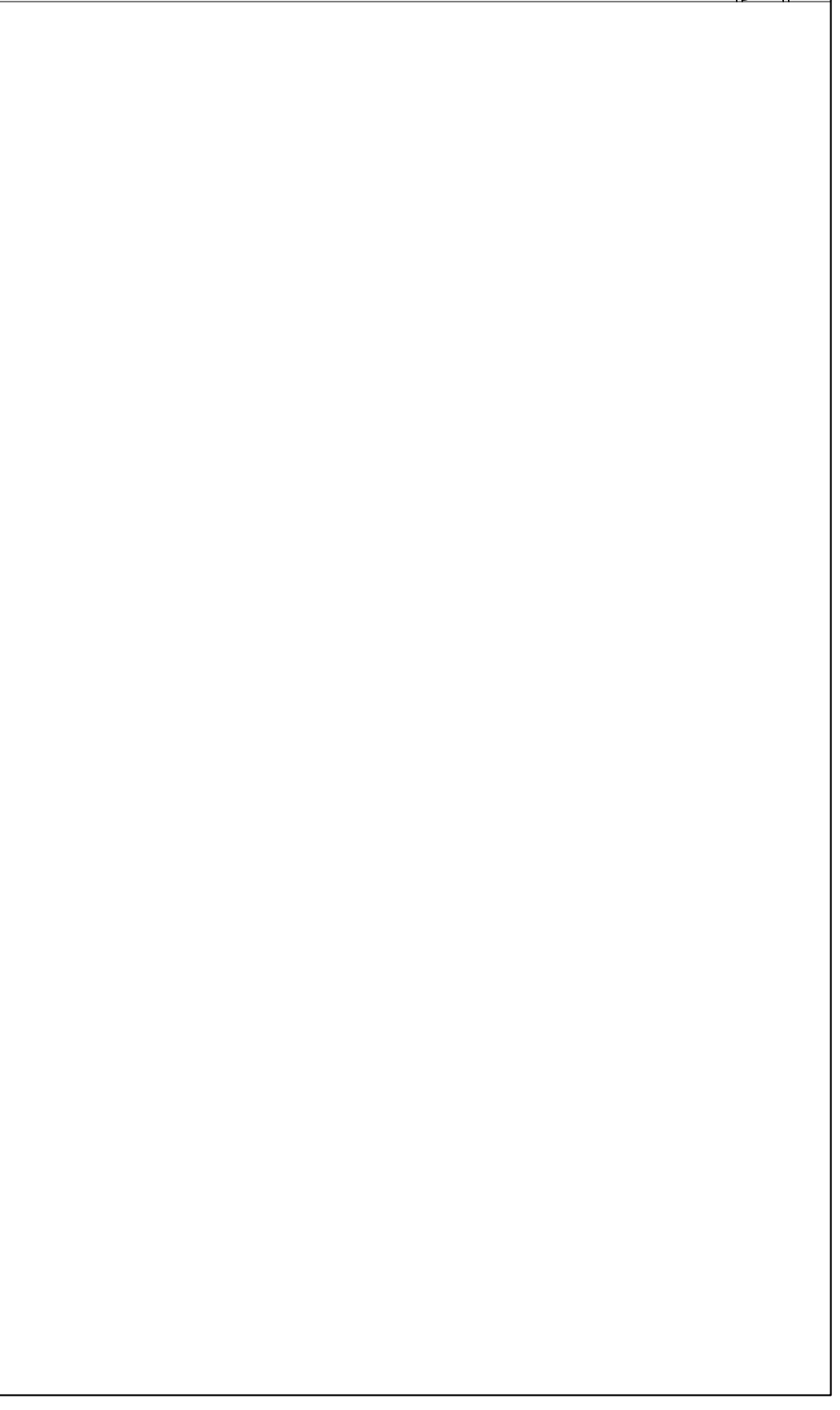
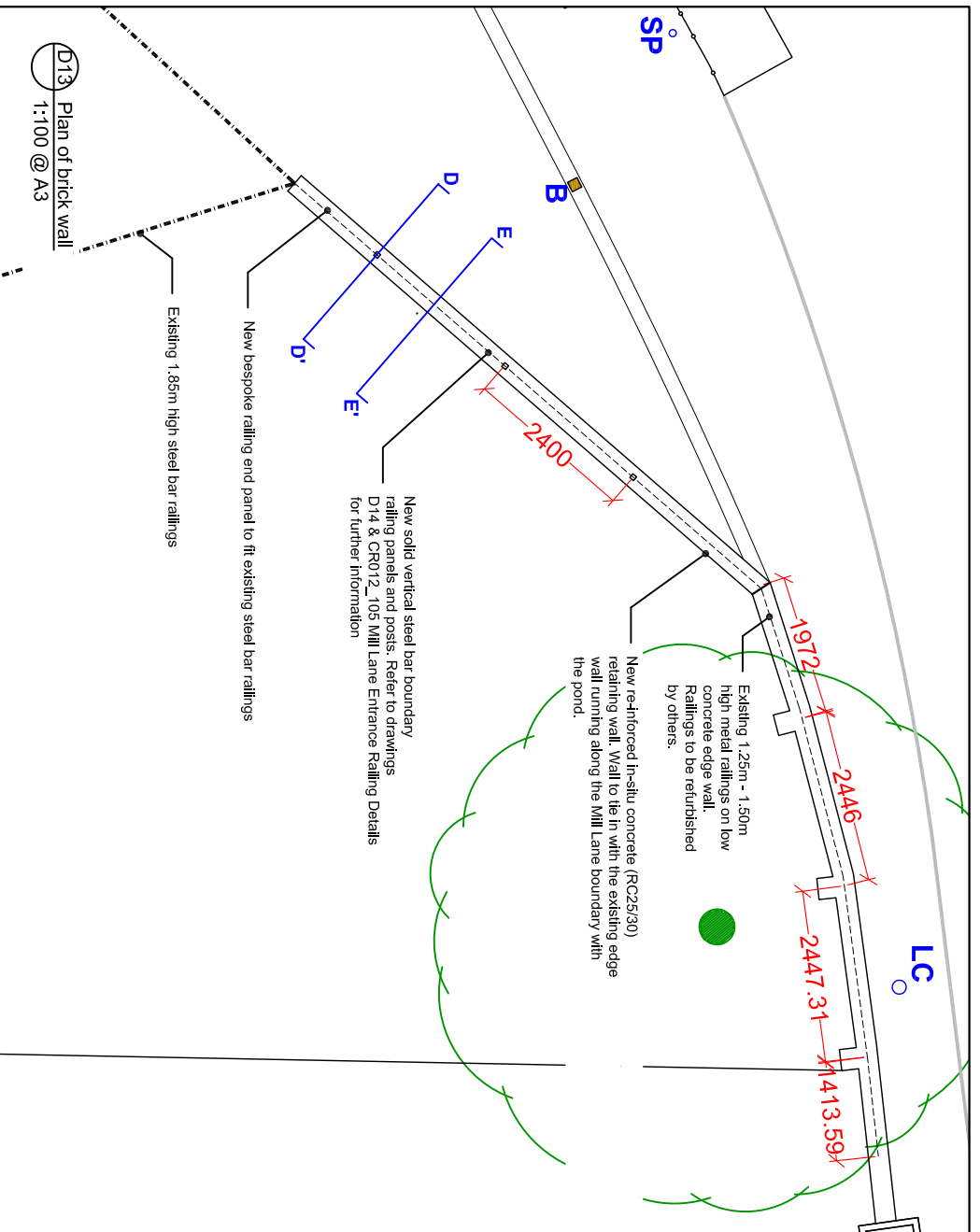


Drawing No. CR012_105 Mill Lane Entrance Railing Details

Date: 23.06.2017

Scale	See DWG	Checked	MB	Approved
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Rev	Date	Description	Checked



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WADDON PONDS - WANDLE GATEWAY

Client: Wandale Valley Regional Park Trust & London Borough of Croydon

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www.workingwithgroundwork.org.uk



Drawing No. CR012_107 Wandale Trail Connection - Wall and Railings

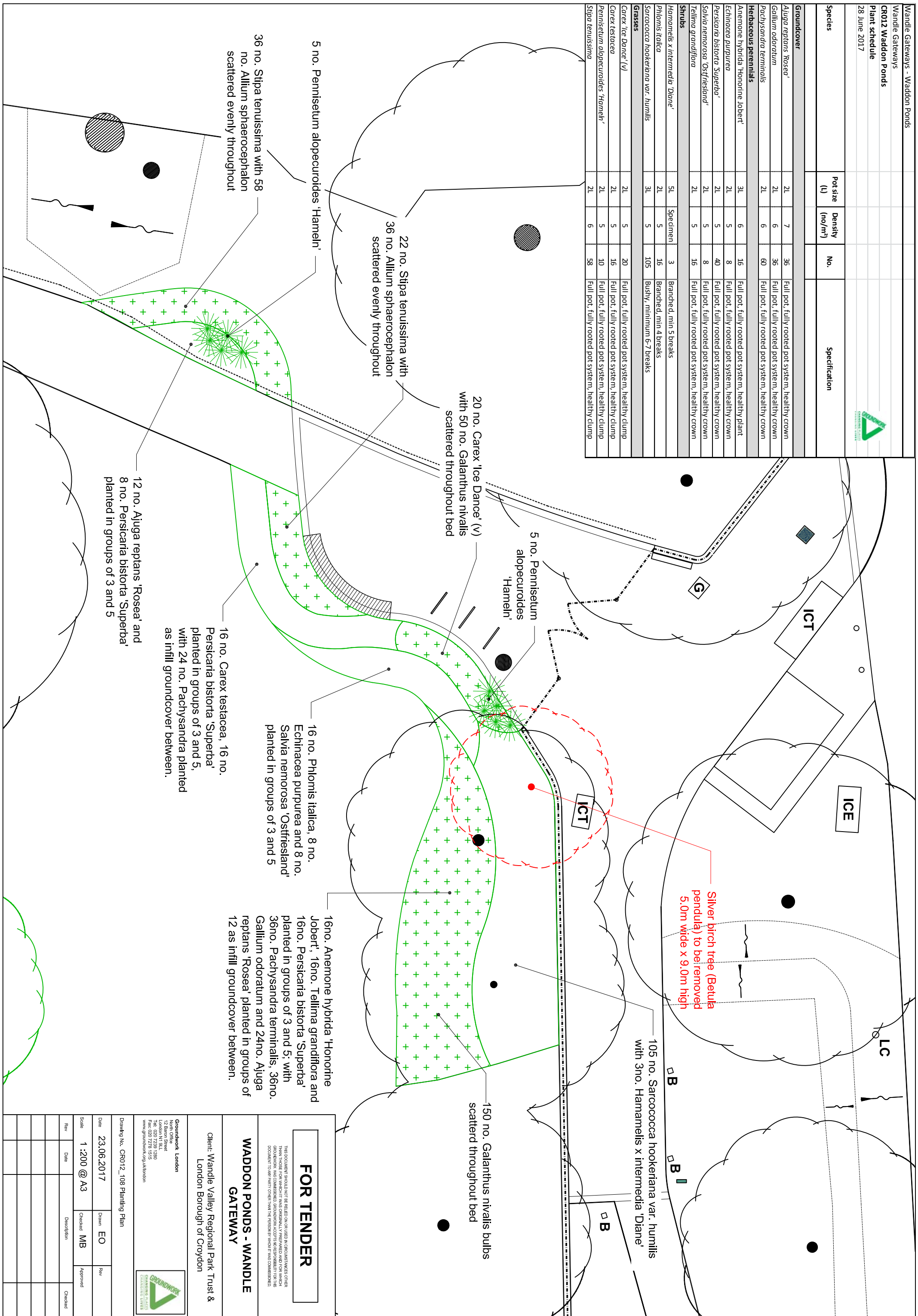
Date	15.06.2016	Drawn	EO	Rev	
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Scale	Var.	Checked	MB	Approved	
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Rev	Date	Description	Checked



Species	Pot size (l)	Density (no/m ²)	No.	Specification
Groundcover				
<i>Ajuga reptans</i> 'Rosea'	2L	7	36	Full pot, fully rooted pot system, healthy crown
<i>Galium odoratum</i>	2L	6	36	Full pot, fully rooted pot system, healthy crown
<i>Pachysandra terminalis</i>	2L	6	60	Full pot, fully rooted pot system, healthy crown
Herbaceous perennials				
<i>Anemone hybrida</i> 'Honorine Jobert'	3L	6	16	Full pot, fully rooted pot system, healthy plant
<i>Echinacea purpurea</i>	2L	5	8	Full pot, fully rooted pot system, healthy crown
<i>Persicaria bistorta</i> 'Superba'	2L	5	40	Full pot, fully rooted pot system, healthy crown
<i>Salvia nemorosa</i> 'Ostfriesland'	2L	5	8	Full pot, fully rooted pot system, healthy crown
<i>Tellina grandiflora</i>	2L	5	16	Full pot, fully rooted pot system, healthy crown
Shrubs				
<i>Hamamelis x intermedia</i> 'Diane'	5L	Specimen	3	Branched, min 5 breaks
<i>Philomis italica</i>	2L	5	16	Branched, min 4 breaks
<i>Sarcococca hookeriana</i> var. 'humilis'	3L	5	105	Bushy, minimum 6-7 breaks
Grasses				
<i>Carex</i> 'Ice Dance' (V)	2L	5	20	Full pot, fully rooted pot system, healthy clump
<i>Carex testacea</i>	2L	5	16	Full pot, fully rooted pot system, healthy clump
<i>Pennisetum alopecuroides</i> 'Hameln'	2L	5	10	Full pot, fully rooted pot system, healthy clump
<i>Stipa tenuissima</i>	2L	6	58	Full pot, fully rooted pot system, healthy clump



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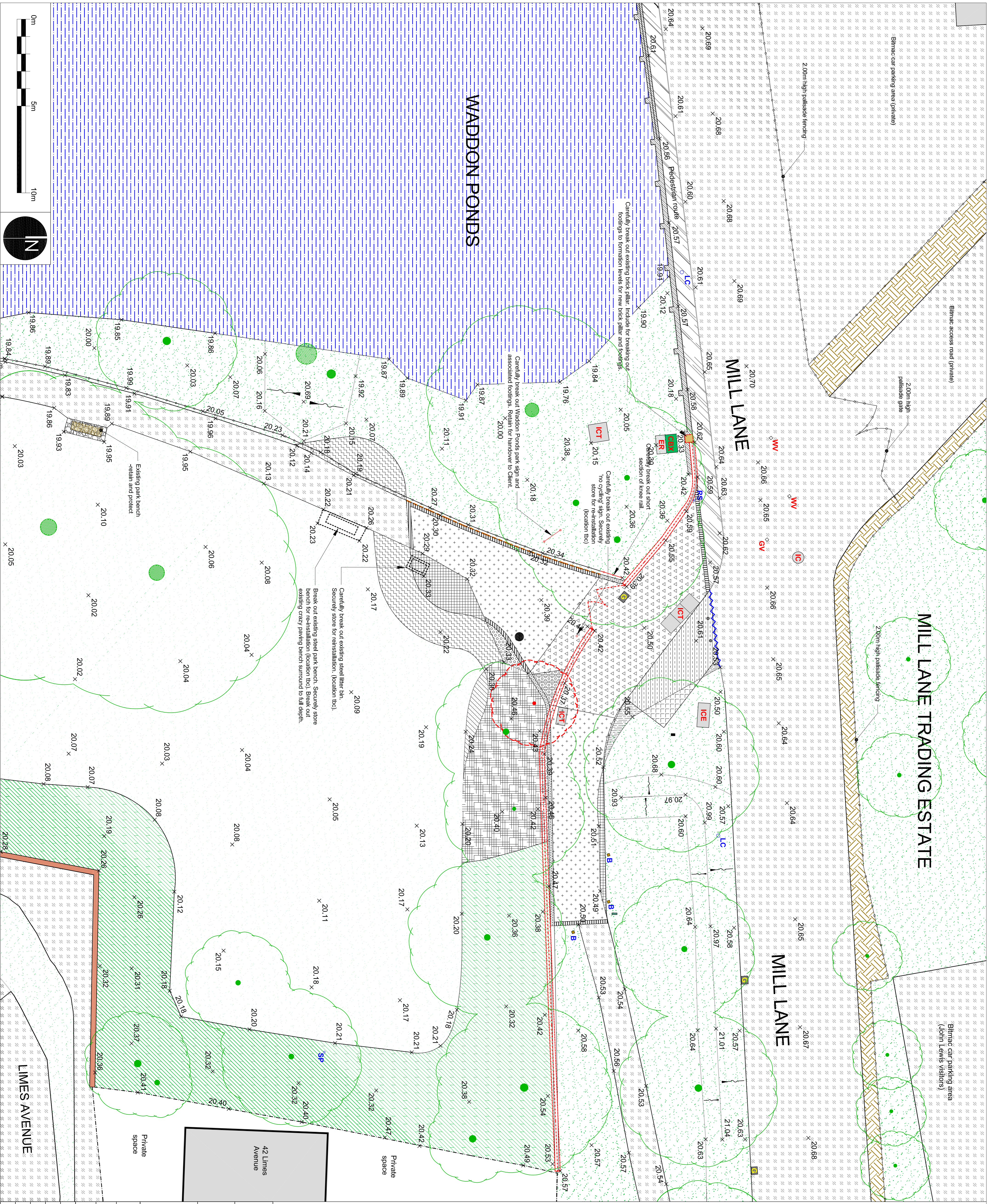
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WADDON PONDS - WANDLE GATEWAY

Client: Wandle Valley Regional Park Trust & London Borough of Croydon

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Drawing No. CR012_108 Planting Plan			
Date	23.06.2017		
Scale	1:200 @ A3		
Drawn	EO		
Checked	MB		
Approved			
Rev	Date	Description	Checked



Rev	Date	Description	Checked	Approved	Checked

Scale: 1:100 @ A1

Date: 23.06.2016

Drawn: EO

Rev: MB

Approved: MB

Checked: MB

Drawing No.: CR012_109 Clearance Plan - Mill Lane Entrance

Client: Wandale Valley Regional Park Trust & London Borough of Croydon

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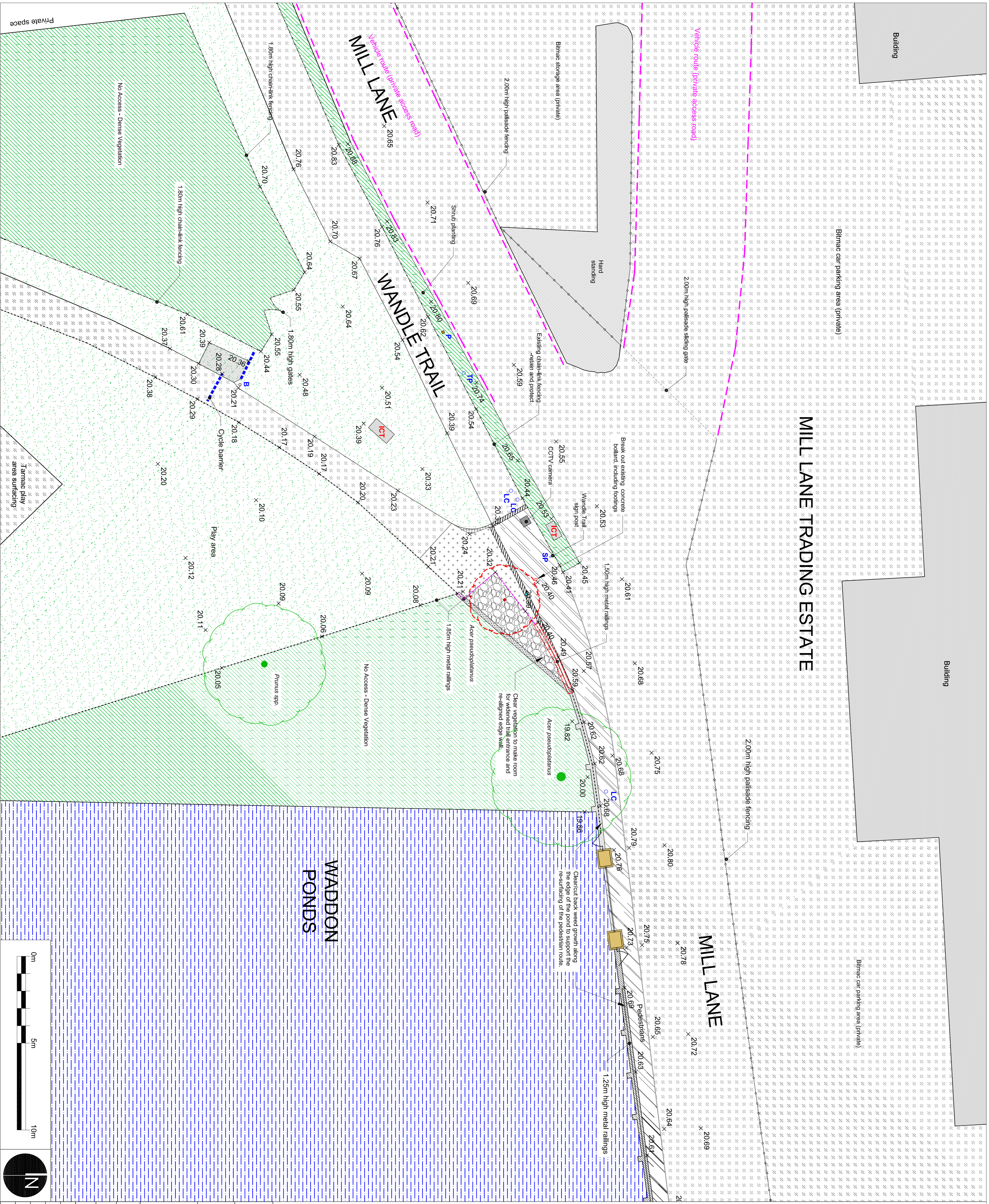
WADDON PONDS - WANDLE GATEWAY

KEY

- Existing - retain & protect
- Buildings
- Water
- Timber fence/ approx. 0.5m high
- Bimac surfacing
- Concrete surfacing and edging
- Grass
- Stratums
- Trees
- Street furniture - Timber bollards (B), lighting columns (LC), road signs (RS) and sign posts (SP) [Surveyed Dec 2015]
- Inspection covers for below ground services - General (IC) electrical (ICE), telecom (ICT), control box (CBX) [Surveyed Dec 2015]
- Gullies [Surveyed Dec 2015]
- Water and gas valves (WV & GV) [Surveyed Dec 2015]

Clearance & Excavation

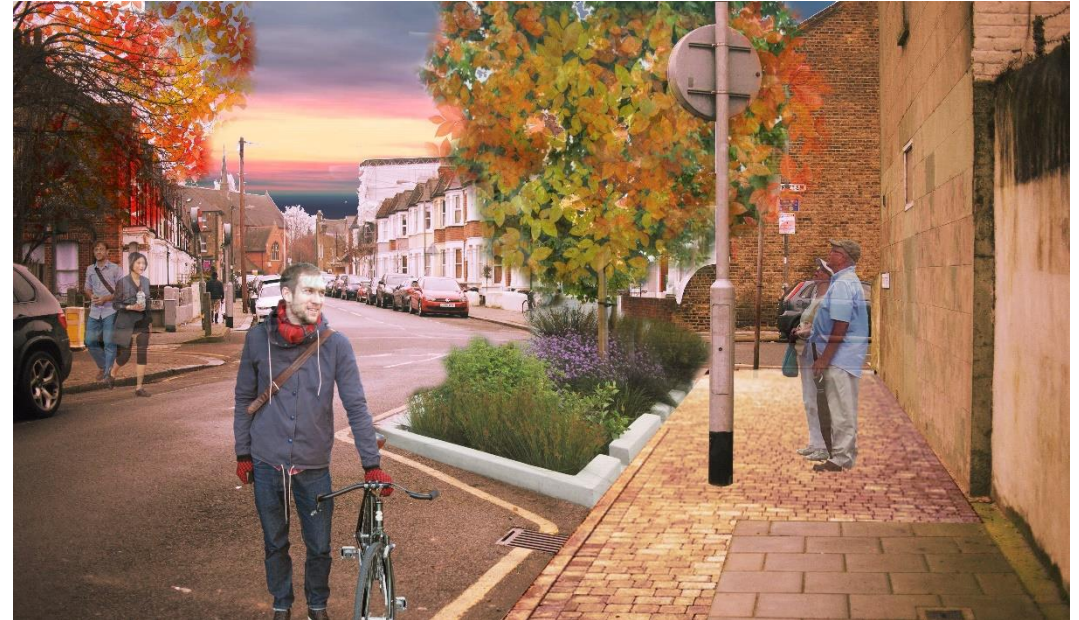
- Carefully fail and remove 1m. Basalt pinnacles. Allow for grinding out stump to 300mm depth and for removing roots that may impact on other works.
- Carefully break out existing 1.25m high boundary railings (inc. gates & gate posts) and 0.6m high stone wall.
- Carefully break out existing bimac surfacing to the subbase layer. Re-grade subbase in preparation for new surfacing. (course only) in preparation for new surfacing.
- Carefully break out existing bimac surfacing and excavate to formation depth for new brick wall.
- Carefully break out existing bimac surfacing and associated edging and excavate to formation depth for new stone set edging.
- Break out existing bimac surfacing and excavate to formation depth for new Truckdave permeable paving and associated edging.
- Break out existing bimac surfacing and excavate to 450mm in preparation for new upsoil and planting.
- Break out existing bimac surfacing and excavate to 250mm in preparation for new upsoil and turf.
- Carefully break out existing highway kerb and excavate to formation depth for new highway kerb edging to Truckdave permeable paving and associated edging.
- Strip turf and excavate to formation depth for new Truckdave permeable paving and associated edging.
- Strip turf and excavate to formation depth for new resin bound surfacing and associated stone sett and concrete pin kerb edging.
- Strip turf and excavate to 200mm in preparation for new upsoil and planting. Cultivate the base of the excavation to a further 200mm depth.
- Clear vegetation and excavate to formation depth for new resin bound surfacing and base courses.
- Clear vegetation from existing plant bed in preparation for turfing.
- Cultivate soil to min 200mm depth, removing debris and stones >30mm.
- Carefully break out existing bimac, wearing course of the pedestrian route along Mill Lane in preparation for new bimac surface course with resin bonded aggregate wearing course.
- Cultivate existing plant bed to 400mm depth, removing debris and stones >50mm. Allow for removing 30% of existing planting in preparation for re-stocking of bed with new groundcover species.



<p>KEY</p> <ul style="list-style-type: none"> Existing - retain & protect Buildings Water Bimac surfacing Concrete surfacing and edging Grass Shrubs Trees Cycle barriers Street furniture - Timber bollards (B), lighting columns (LC), road signs (RS) and sign posts (SP) [Surveyed Dec 2015] Inspection covers for below ground services - General (IC), electrical (IE), telecom (ICT), control box (CBX) [Surveyed Dec 2015] Gullies [Surveyed Dec 2015] Water and gas valves (WV & GV) [Surveyed Dec 2015] 					
<p>Clearance & Excavation</p> <ul style="list-style-type: none"> Carefully fill and stump to 300mm depth and for removing roots that may impact on other works. Excavate topsoil where vegetation has been cleared to formation depths for new retaining wall. Including excavation for suggested improvement layer. Carefully break out existing 1.50m high boundary railings depth for new surfacing. Carefully break out existing 1.80m high boundary railings back stays. Break out footings as required to formation depth for new surfacing. Carefully break out existing bimac wearing course of the pedestrian route along Mill Lane in preparation for new bimac surface course with resin bonded aggregate wearing course. Carefully break out existing bimac surfacing (wearing course only) in preparation for new bimac surfacing. Carefully break out existing bimac surfacing and excavate to formation depth for new stone set edging. Allow for saw cutting at joints with existing bimac to ensure a neat finish. Supply and install new compacted inert fill (D2077 10) to the area behind the new boundary edge wall, to bring levels up to formation depth for new subbase and bimac surfacing. Strip turf and excavate to formation depth for new subbase and bimac surfacing. 					
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<p>WADDON PONDS - WANDLE GATEWAY</p> <p>Client: Wandle Valley Regional Park Trust & London Borough of Croydon</p>					
<p>Groundwork London 12 Elm Street London N1 5LL Tel: 020 7281 1280 www.groundwork.org.uk</p>					
<p>Drawing No. CR012_110 Clearance Plan - Wandle Trail Connection</p>					
Date	23.06.2017	Drawn	EO	Rev	
Scale	1:100 @ A1	Checked	MB	Approved	
Rev		Date		Description	Checked

Wandle Valley Gateways – Trewint Street

Management and Maintenance Plan 2018



Background

Trewint Street in Earlsfield, Wandsworth, marks the end of the Wandle Trail and the beginning of the Earlsfield missing link. Thereafter the Wandle Trail is picked up again in King Georges Park. The Trewint Street entrance to the Wandle Trail was particularly unwelcoming before the project started in 2017 due to over grown vegetation, poorly maintained railings and a lack of signage. It is a well used route from the residential area of Earlsfield to the Wandle Trail and nearby industrial estate. It is used by both cyclists and pedestrians.

Trewint Street and the Living Wandle Landscape Partnership Project

Wandle Valley Regional Park Trust and Groundwork London were both partners in a Heritage Lottery Funded scheme called the Living Wandle Landscape Partnership Scheme (LWLPS) the aim of which was to deliver a series of improvement projects along the length of the River Wandle. The over-arching aim of the scheme was to reconnect local people with the River, which flows through Sutton, Croydon, Merton and Wandsworth where it joins the Thames.

Trewint Street was one of the Gateways to receive funding for improvements to be made. The overall value of the project increased due to funding received from strategic partners including Wandsworth Borough Council, Wandle Housing, Living Wandle Landscape Partnership, WREF and Wandsworth Local Grant Fund. The main improvements that have taken place at Trewint Street include:

- *New bridge railings and metal work*
- *Vegetation work and new planting*
- *New path surfaces*
- *Interpretation boards*
- *Rain garden and swales*
- *Monoliths and plaques*
- *Art project*

The project marked a good example of partnership working with private, public, statutory and community sectors. Added value to improvements in the area had been delivered by the Wandle Trust who improved the river course itself by installing eel passes and removing one of the weirs.

Current usage of the site is not known, however WVRPT will measure usage after completion of works to monitor the number of people that benefit from the improvements.

For more information about the Living Wandle Landscape Partnership please see <https://wandlevalleypark.co.uk/the-living-wandle-partnership/>



Maintenance and Management

Works commenced in 2017 and were completed in May 2018. To ensure sustainability of this project, a 10-year management and maintenance plan has been created by Groundwork London on behalf of WVRPT with support from Enable and Wandsworth. The tasks that need to be maintained/managed by London Borough of Wandsworth will be incorporated into routine inspection so there will be no significant additional cost. The tasks maintained by Groundwork's Green Team have been costed into the overall budget and have been outlined in the table below.

Key

- LBW – London Borough of Wandsworth
- E - Enable
- GGT – Groundworks Green Team
- WVRPT – Wandle Valley Regional Park Trust – Wandle Rangers/volunteers

What needs to be maintained/managed?	What work is involved?	Who will do this?	When and how often?	Value of this?
New railings	Check for damage and make necessary repairs to structure, paint and safety as required	LBW structures team	Checks to be done every 2 years. Repaint and repair as and when problems occur and are reported.	Incorporated into structures' routine inspection regime at a cost of £150 a check. £750.00
Trail re-surfacing	Check for cracking/ potholes and subsequent ponding and vegetation in cracks.	LBW highway inspection team	Twice a year, once in early spring	Incorporated into highways' routine inspection at a cost of £50 a check. £1000.00
Rain gardens and planting	Ensure gullies are kept clear, free from leaves and other debris and free draining.	GGT for one year and then hand over to Enable	2 x a year – once after leaf fall and early spring.	£2300.00 – cost for GGT for one year. Cost for Enable will be

What needs to be maintained/managed?	What work is involved?	Who will do this?	When and how often?	Value of this?
	Ensure rain gardens are weeded and baffles clear of sediment.		Monthly	incorporated into regular maintenance costs.
	Ensure tree stakes are in place and ties loosened as girth increases. Formative pruning if required.		Check ties annually or after bad weather. Prune when dormant.	
Interpretation signs	Keep clear from graffiti, dirt etc	WVRPT	As and when required. Annual routine check.	HLF volunteer rate - £25 for half a day based on unskilled volunteer rate x 2 Volunteers
Monolith and plaques	Keep clear from graffiti, dirt etc	WVRPT	As and when required. Annual routine check.	HLF volunteer rate - £25 for half a day based on unskilled volunteer rate x 2 Volunteers
Art project	Keep clear from graffiti, dirt and vandalism	WVRPT	As and when required. Annual routine check.	HLF volunteer rate - £25 for half a day based on unskilled volunteer rate x 2 x volunteers
Lamp columns	Check for damage.	WBC highway inspection team	2x per year	Incorporated into highways' routine inspection at £50 a year. £1000.00
Dwarf walls	Check for damage. Check for plants seeding in pointing and remove.	WBC structures team	Every 2 years	Incorporated into highways' routine inspection at £50 a check. £250.00
Information about the site to be kept up to date	Update website as required. Amend signage if information requires updating	WVRPT	As required	HLF volunteer rate - £25 for half a day based on unskilled volunteer rate.
Management and maintenance plan	M&M revised as necessary. Plan to be distributed to Enable	Enable	Revise as required.	As per Enable staff costs.

Total expected value over 10 years: £5325.00 plus volunteer time for cleaning and inspecting £500, plus £1000 for volunteer expenses, cleaning materials and spot repairs.

**London Borough Wandsworth
Highways and Structural team,**
Frogmore Road Depot,
Wandsworth
SW18

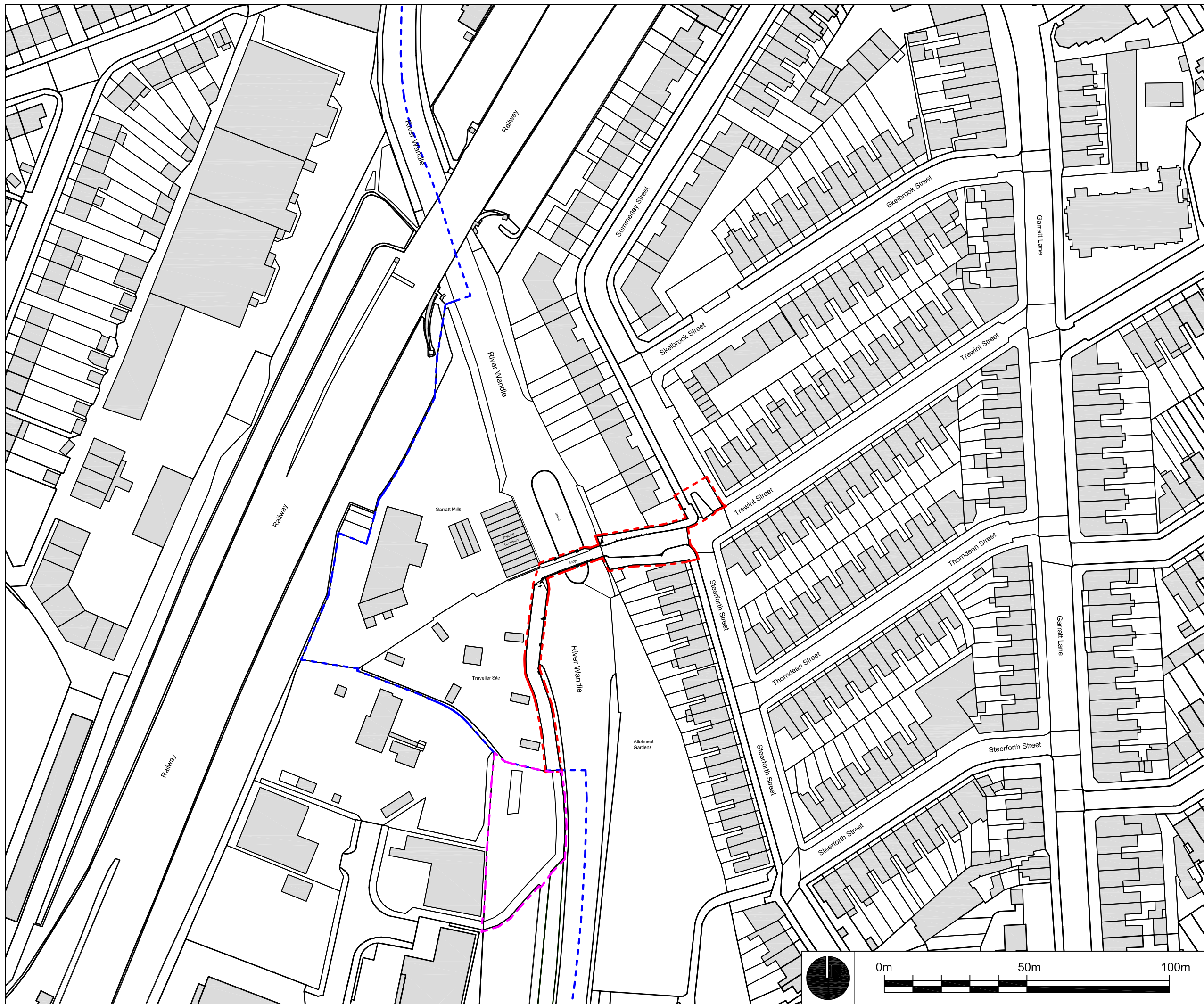
Enable Culture and Leisure
The Park Offices
Staff Yard
Battersea Park
London, SW11 4NJ

Wandle Valley Regional Park Trust
Volunteer activities
Wandle Valley volunteers
The Old Bookshop
Morden Hall Park
SM4 5JD





Groundwork Green Team
Groundwork London
18-21 Morley Street
London, SE1 7QZ

Plan prepared by
Rupal Shah





KEY

-  Buildings & structures
-  Borough boundary
-  Approximate site area
-  Extension of site area (LBM) to tie the works into path improvements completed from Plough Lane + some vegetation improvements.

Site location: London SW18 4HB

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Wandle Gateway - Trewint Street

Client: London Borough of Wandsworth & Wandle Valley Regional Park Trust

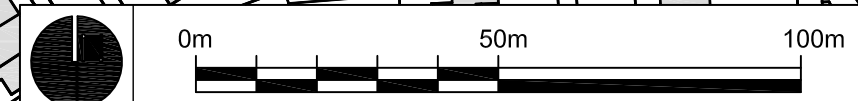
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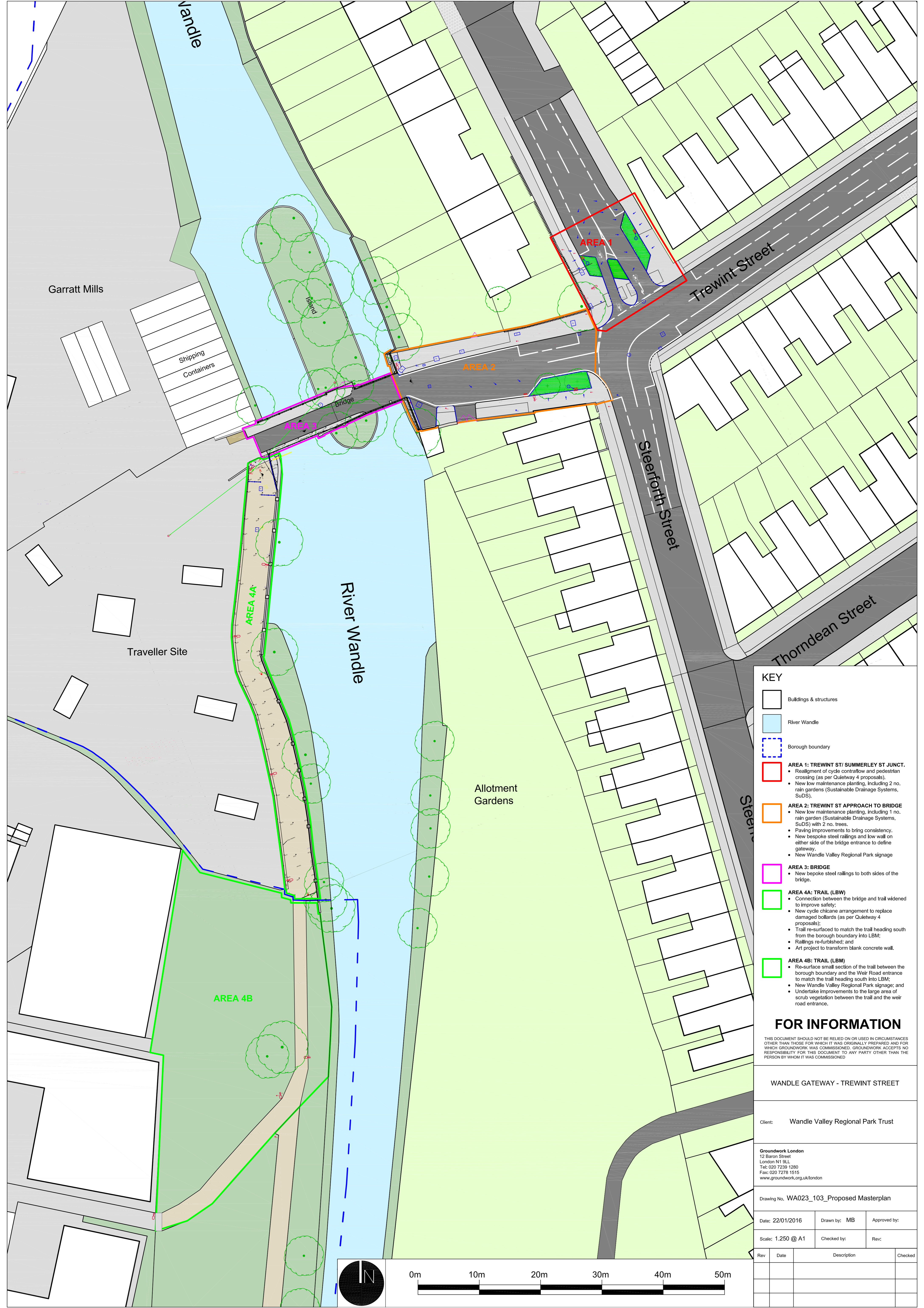
Drawing No. WA023_100 Location Plan

Date	18.08.2015	Drawn	MB	Rev	
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Scale	1:1250 @ A3	Checked	
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Rev	Date	Description	Checked





- KEY**
- Buildings & structures
 - River Wandle
 - Borough boundary
 - AREA 1: TREWINT ST/ SUMMERLEY ST JUNCT.**
 - Realignment of cycle contraflow and pedestrian crossing (as per Quietway 4 proposals).
 - New low maintenance planting, including 2 no. rain gardens (Sustainable Drainage Systems, SuDS).
 - AREA 2: TREWINT ST APPROACH TO BRIDGE**
 - New low maintenance planting, including 1 no. rain garden (Sustainable Drainage Systems, SuDS) with 2 no. trees.
 - Paving improvements to bring consistency.
 - New bespoke steel railings and low wall on either side of the bridge entrance to define gateway.
 - New Wandle Valley Regional Park signage
 - AREA 3: BRIDGE**
 - New bespoke steel railings to both sides of the bridge.
 - AREA 4A: TRAIL (LBW)**
 - Connection between the bridge and trail widened to improve safety;
 - New cycle chicane arrangement to replace damaged bollards (as per Quietway 4 proposals);
 - Trail re-surfaced to match the trail heading south from the borough boundary into LBM;
 - Railings re-furbished; and
 - Art project to transform blank concrete wall.
 - AREA 4B: TRAIL (LBM)**
 - Re-surface small section of the trail between the borough boundary and the Weir Road entrance to match the trail heading south into LBM;
 - New Wandle Valley Regional Park signage; and
 - Undertake improvements to the large area of scrub vegetation between the trail and the weir road entrance.

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WANDLE GATEWAY - TREWINT STREET

Client: Wandle Valley Regional Park Trust

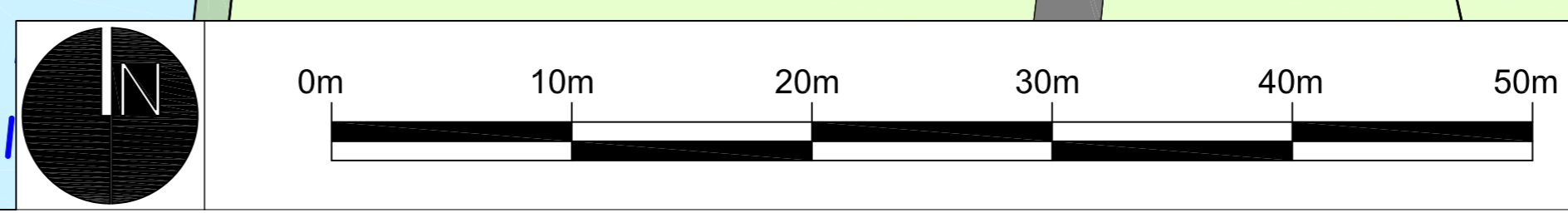
Groundwork London
 12 Baron Street
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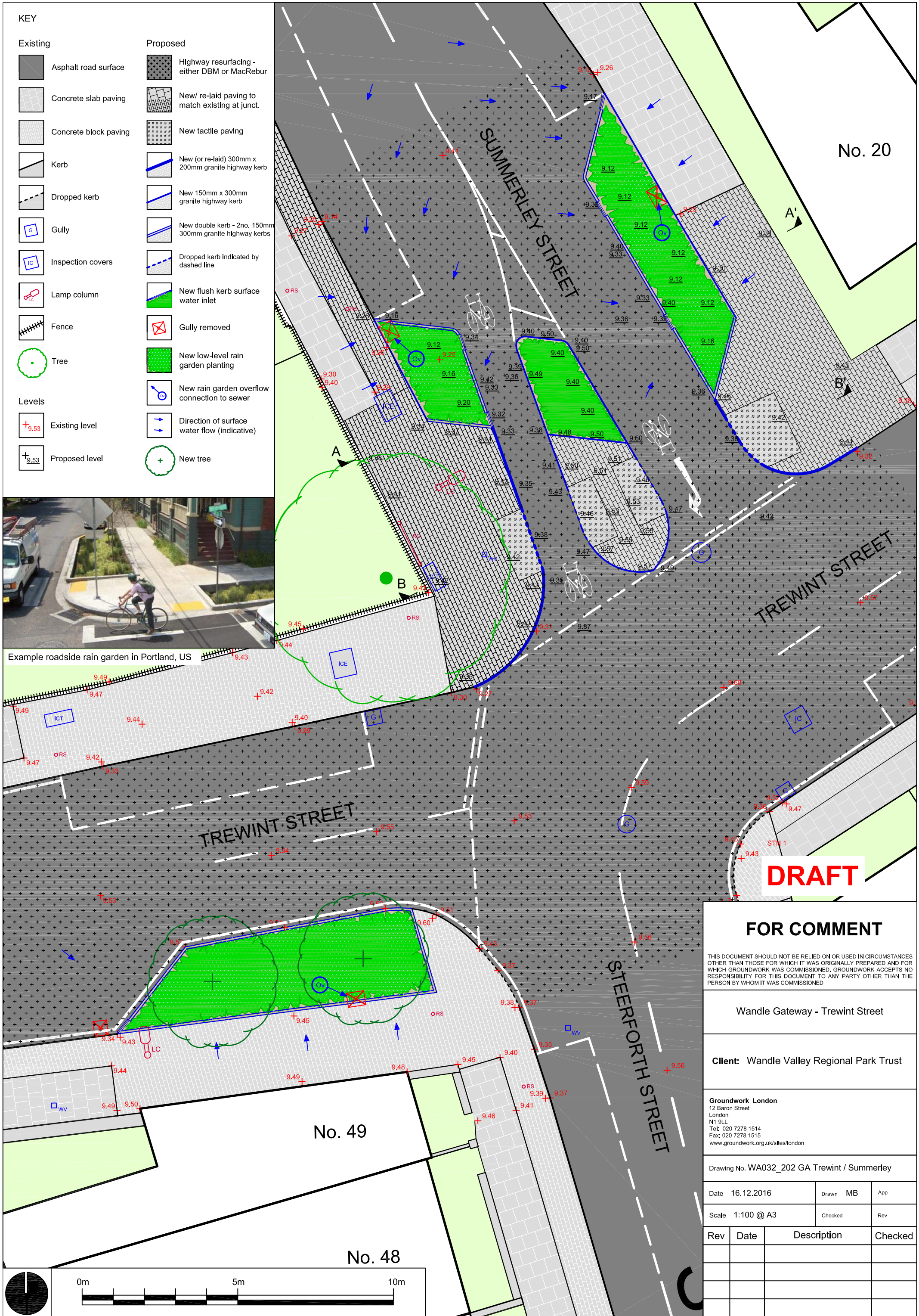
Drawing No. WA023_103_Proposed Masterplan

Date: 22/01/2016 Drawn by: MB Approved by:

Scale: 1:250 @ A1 Checked by: Rev:

Rev	Date	Description	Checked





KEY

Existing	Proposed
Asphalt road surface	Highway resurfacing - either DBM or MacRebur
Concrete slab paving	New/ re-laid paving to match existing at junct.
Concrete block paving	New tactile paving
Kerb	New (or re-laid) 300mm x 200mm granite highway kerb
Dropped kerb	New 150mm x 300mm granite highway kerb
Gully	New double kerb - 2no. 150mm 300mm granite highway kerbs
Inspection covers	Dropped kerb indicated by dashed line
Lamp column	New flush kerb surface water inlet
Fence	Gully removed
Tree	New low-level rain garden planting
	New rain garden overflow connection to sewer
Levels	Direction of surface water flow (indicative)
Existing level	New tree
Proposed level	



Example roadside rain garden in Portland, US

DRAFT

FOR COMMENT

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Wandle Gateway - Trewint Street

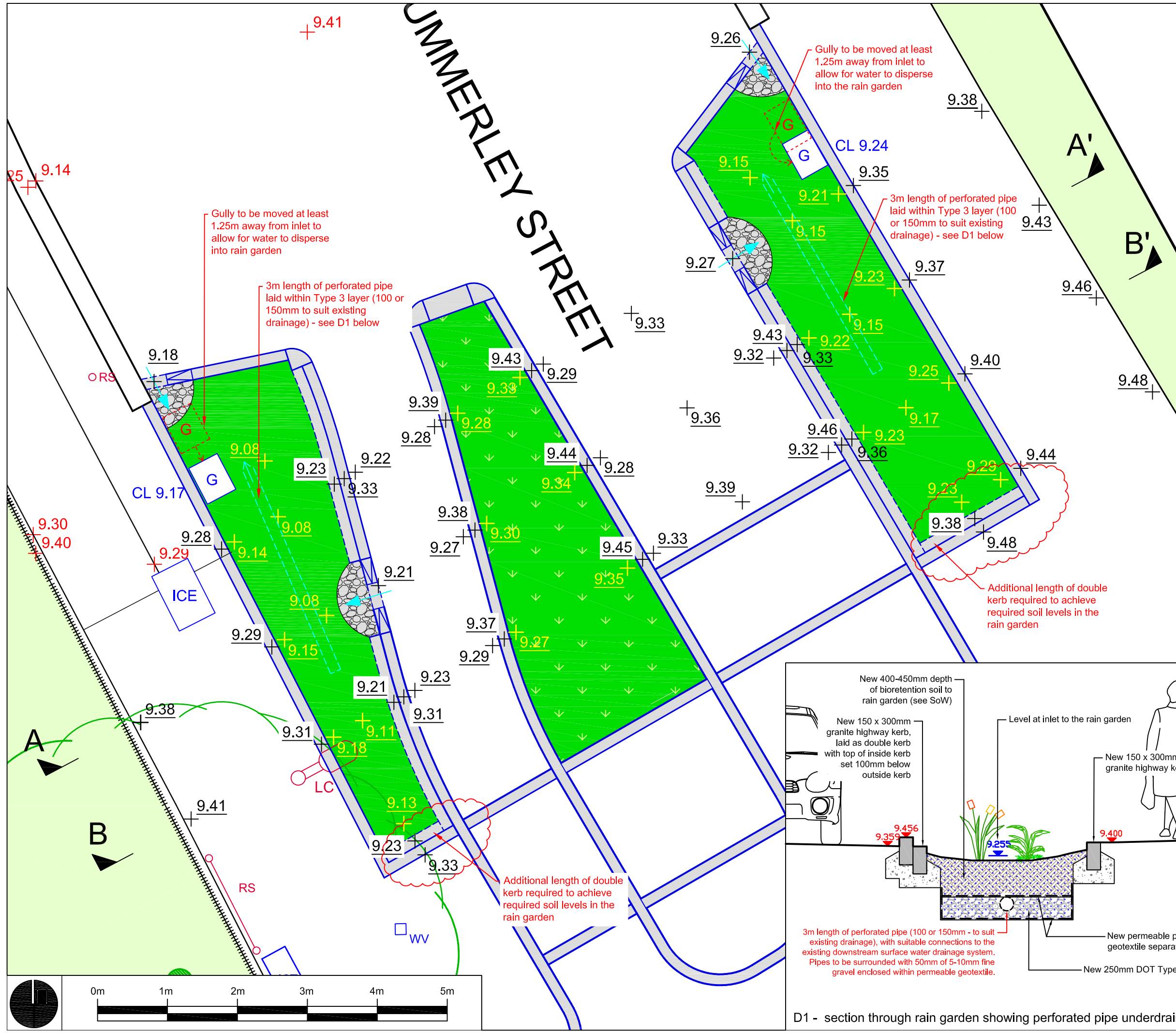
Client: Wandle Valley Regional Park Trust

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 Tel: 020 7278 1514
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Drawing No. WA032_202 GA Trewint / Summerley

Date	16.12.2016	Drawn	MB	App	
Scale	1:100 @ A3	Checked		Rev	
Rev	Date	Description	Checked		





KEY

- New granite kerb - as per WBC layout 16.10.17.
- New granite double kerb arrangement - as per GWL detail 22.10.17.
- New pebble/cobble baffles: 80-120mm beach cobbles set in concrete with a neatly shuttered front edge. Laid to fall gently into rain garden.
- Rain gardens: 400-450mm depth of bioretention soil laid on 250mm DOT Type 3 subbase. Soil separated from Type 3 with permeable geotextile - as per GWL detail 22.10.17.
- Standard planting bed - 400-450mm depth of good quality topsoil to BS3882.
- Gully - original location
- Gully - new location (tbc with WBC).
- Inspection covers
- Lamp column
- Fence
- Tree

Levels

- Existing level - topo survey
- Proposed level - as per WBC drawing TWINT3d levels, 16.10.17
- Proposed FMC finished soil level - as per GWL sections A & B 22.10.17. **NOTE:** This allows for the addition of 30mm depth of compost prior to planting (by others)

FOR CONSTR.

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Wandle Gateway - Trewint Street

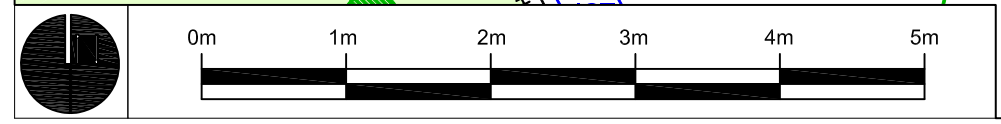
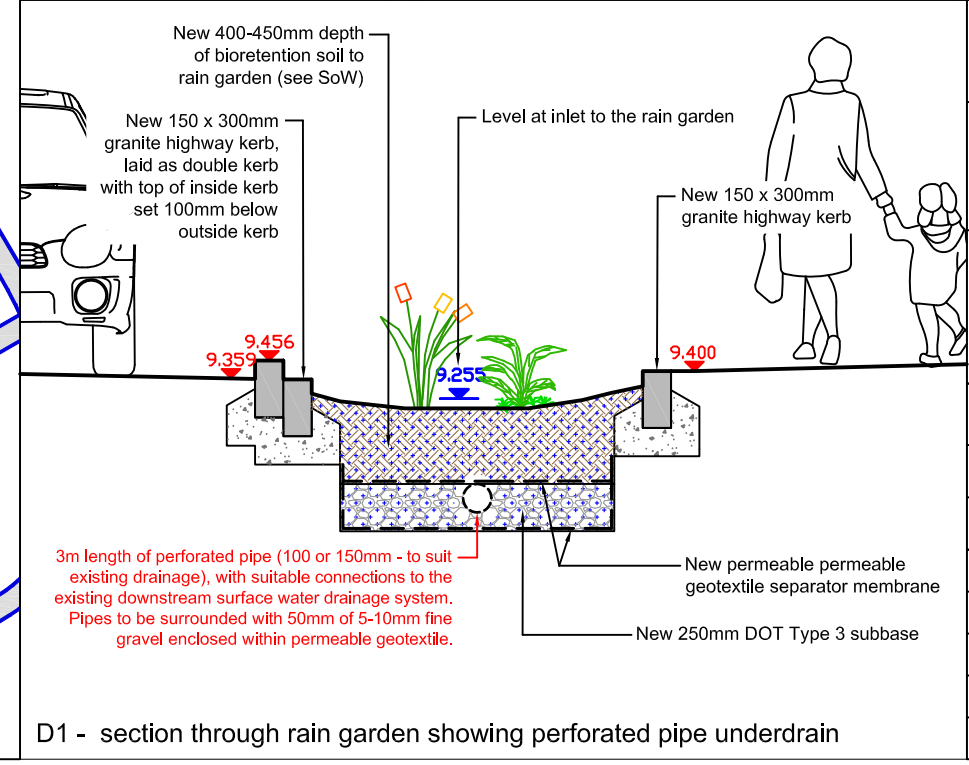
Client: Wandle Valley Regional Park Trust

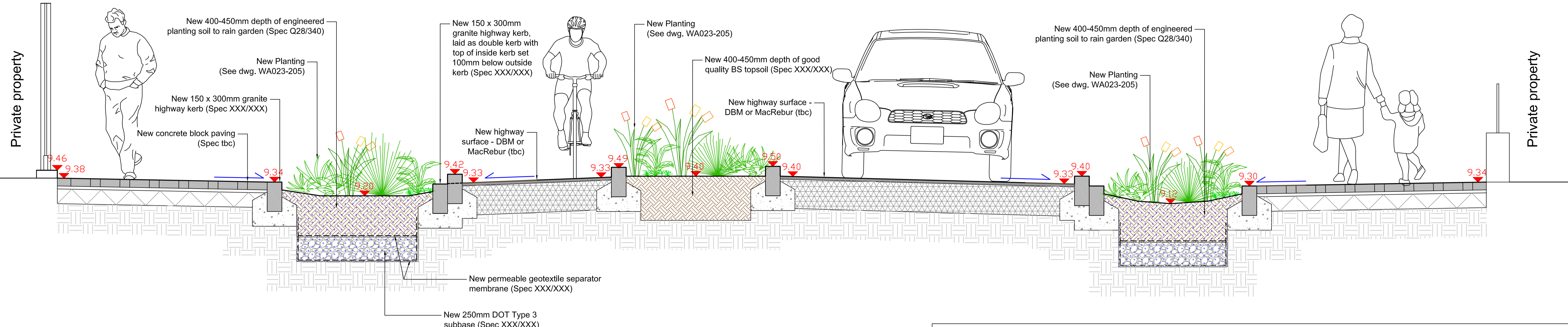
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Drawing No. WA032_202A GA Trewint / Summerley

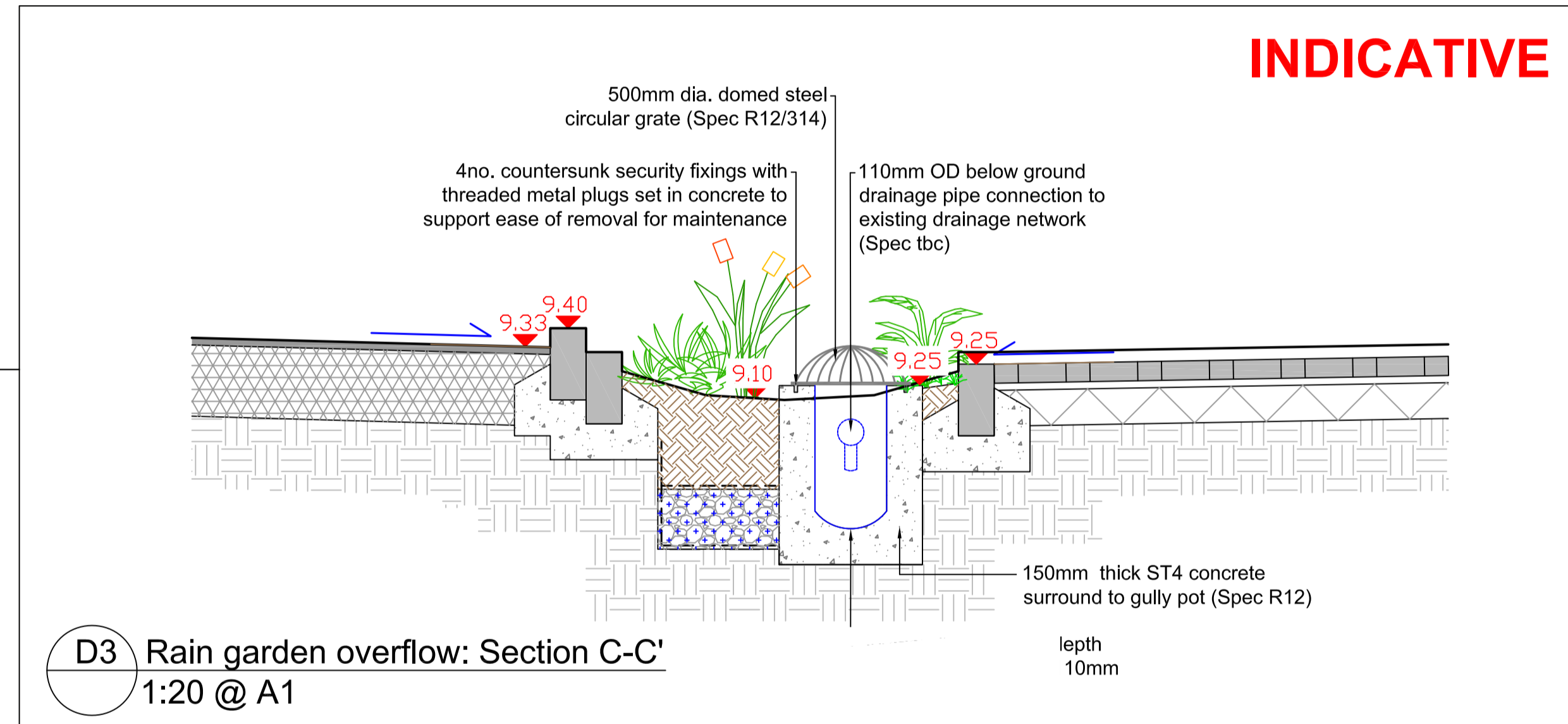
Date	03.11.2017	Drawn	MB	App
Scale	1:50 @ A3	Checked	KI	Rev

Rev	Date	Description	Checked



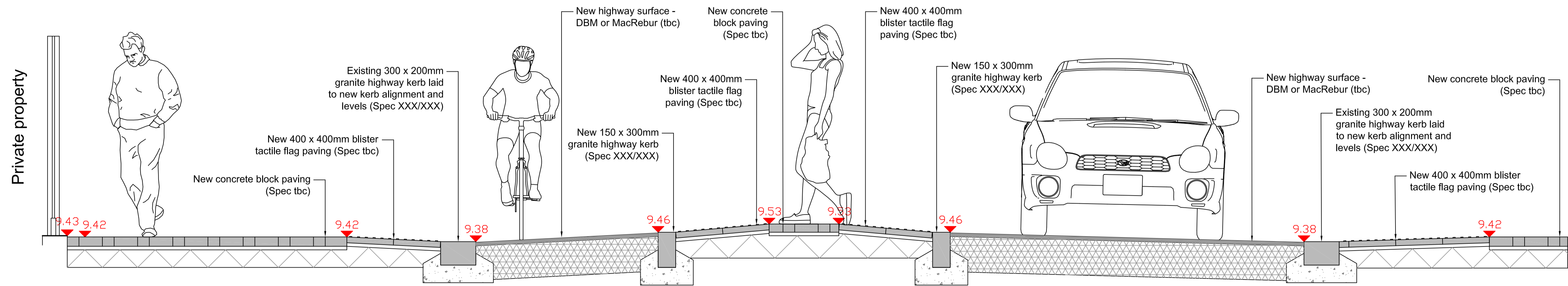


D1 Trewint Street rain gardens: Section A-A'
1:20 @ A1



D3 Rain garden overflow: Section C-C'
1:20 @ A1

INDICATIVE



D2 Trewint Street uncontrolled pedestrian crossing, incorporating a cycle contraflow and island: Section B-B'
1:20 @ A1

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Wandle Gateway - Trewint Street

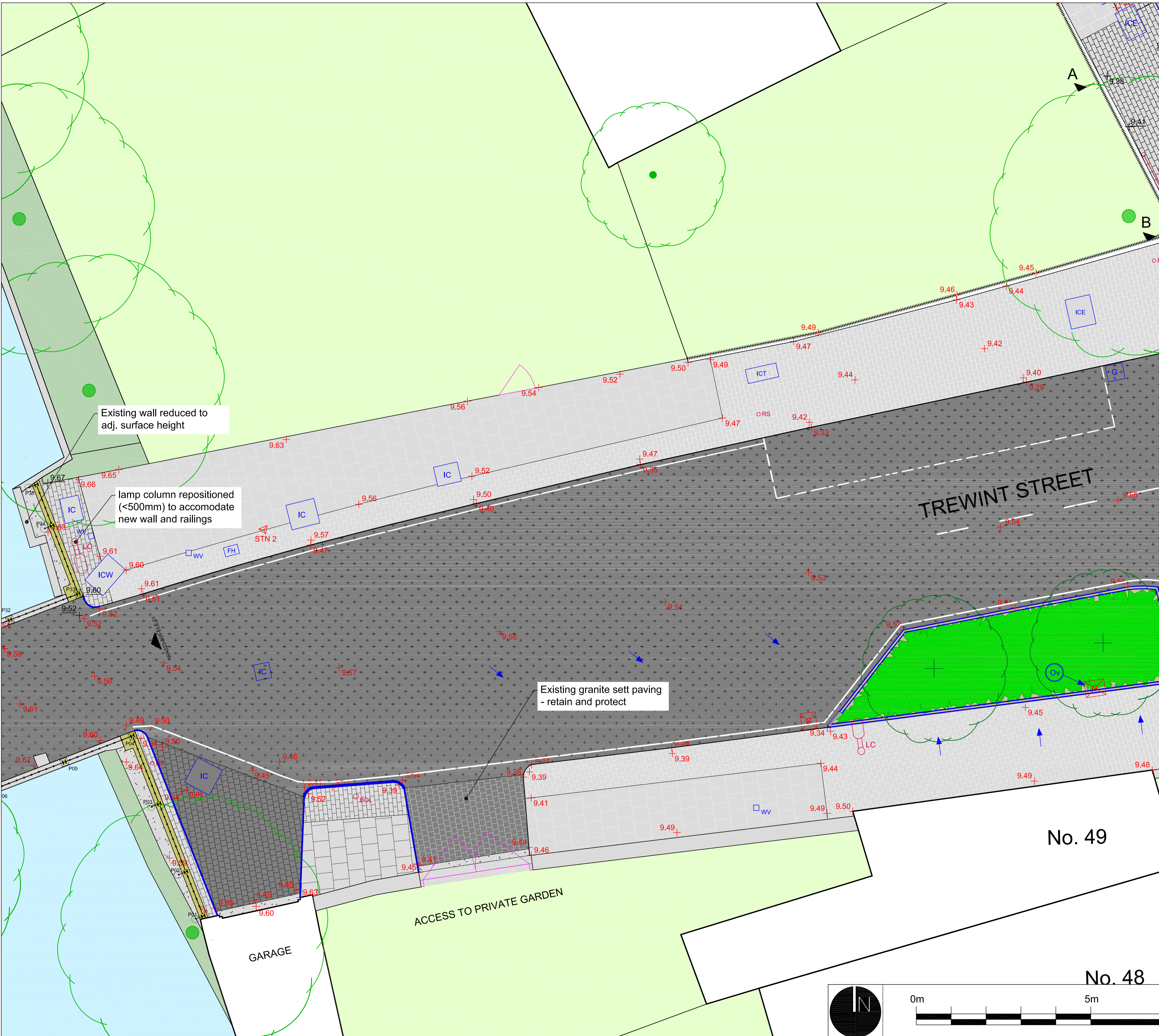
Client: Wandle Valley Regional Park Trust & London Borough of Wandsworth

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Drawing No. WA023_204_Details_Trewint_St

Date: 05/07/2017	Drawn by: MB	Approved by:
Scale: see DWG	Checked by:	Rev:

Rev	Date	Description	Checked



KEY	
Existing	Proposed
Asphalt road surface	Highway resurfacing - either DBM or MacRebur
Concrete road surface	New in-situ concrete paving
Concrete slab paving	New concrete slab paving (to match existing)
Concrete block paving	New concrete block paving (to match existing)
Granite sett paving	New granite sett paving
In-situ concrete paving	New tactile paving
Existing kerb	New (or re-laid) 300mm x 200mm granite highway kerb
Existing dropped kerb	New 150mm x 300mm granite highway kerb
Gully	New double kerb - 2no. 150mm x 300mm granite highway kerbs
Inspection covers	Dropped kerb indicated by dashed line
Bollards	New flush kerb surface water inlet
Road signs	Gully removed
Lamp column	New low-level planting
Tree	New low-level rain garden planting
	New bespoke steel railings
	New brick wall with steel railings mounted above
Levels	
Existing level	
Proposed level	

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WANDLE GATEWAY - TREWINT STREET

Client: Wandle Valley Regional Park Trust

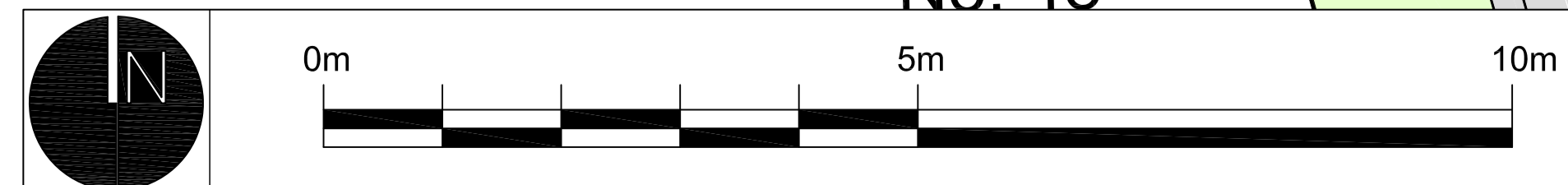
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Drawing No. WA023_111_GA Trewint Street (Areas 2)

Date: 28.07.17	Drawn by: MB	Approved by:
Scale: 1:50 @ A1	Checked by: SD	Rev:

Rev	Date	Description	Checked



No. 49

No. 48

GARAGE

ACCESS TO PRIVATE GARDEN

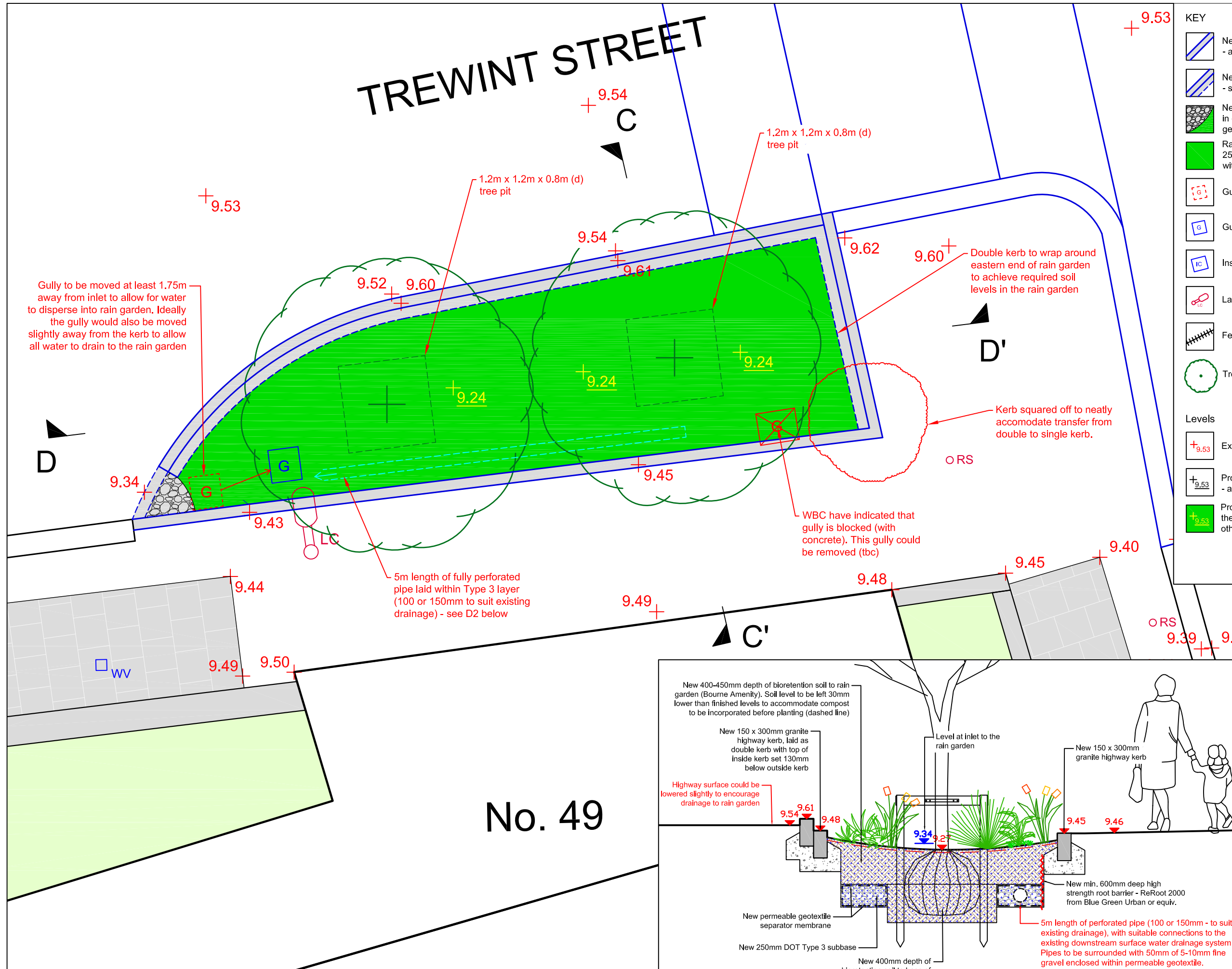
TREWINT STREET

Existing wall reduced to adj. surface height

lamp column repositioned (<500mm) to accommodate new wall and railings

Existing granite sett paving - retain and protect

TREWINT STREET



KEY

- New granite kerb - as per WBC layout 16.10.17.
- New granite double kerb arrangement - see Sections C & D.
- New pebble/cobble baffles: 80-120mm beach cobbles set in concrete with a neatly shuttered front edge. Laid to fall gently into rain garden.
- Rain gardens: 400-450mm depth of bioretention soil laid on 250mm DOT Type 3 subbase. Soil separated from Type 3 with permeable geotextile - see Sections C & D.
- Gully - original location
- Gully - new location (tbc with WBC).
- Inspection covers
- Lamp column
- Fence
- Tree proposed (planted by others)

Levels

- Existing level - topo survey
- Proposed level - as per WBC drawing TWINT3d levels, 16.10.17
- Proposed FMC finished soil level - **NOTE:** This allows for the addition of 30mm depth of compost prior to planting (by others)

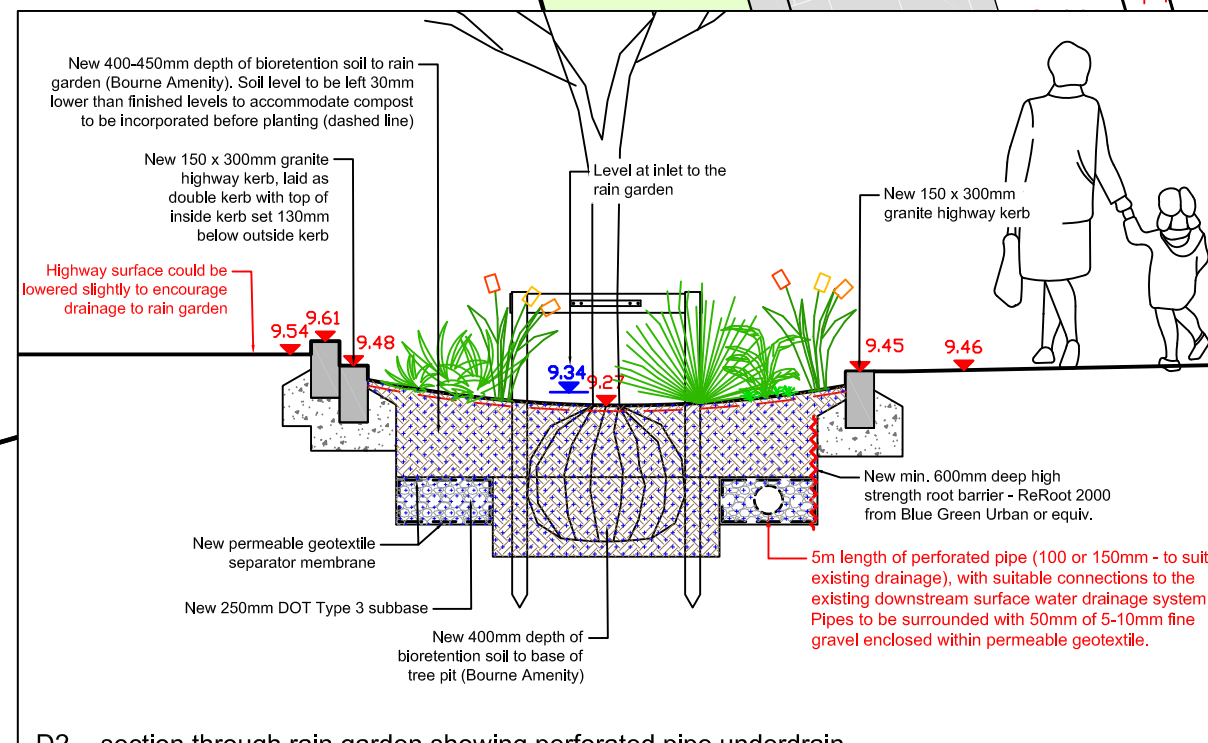
Gully to be moved at least 1.75m away from inlet to allow for water to disperse into rain garden. Ideally the gully would also be moved slightly away from the kerb to allow all water to drain to the rain garden

5m length of fully perforated pipe laid within Type 3 layer (100 or 150mm to suit existing drainage) - see D2 below

WBC have indicated that gully is blocked (with concrete). This gully could be removed (tbc)

Kerb squared off to neatly accommodate transfer from double to single kerb.

No. 49



D2 - section through rain garden showing perforated pipe underdrain

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Wandle Gateway - Trewint Street

Client: Wandle Valley Regional Park Trust

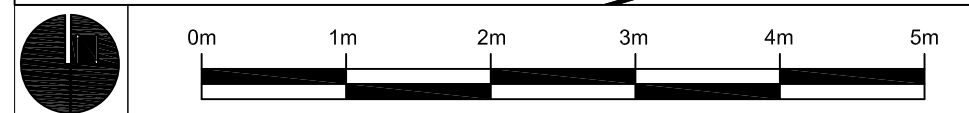
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Drawing No. WA032_202B GA Trewint / Steerforth

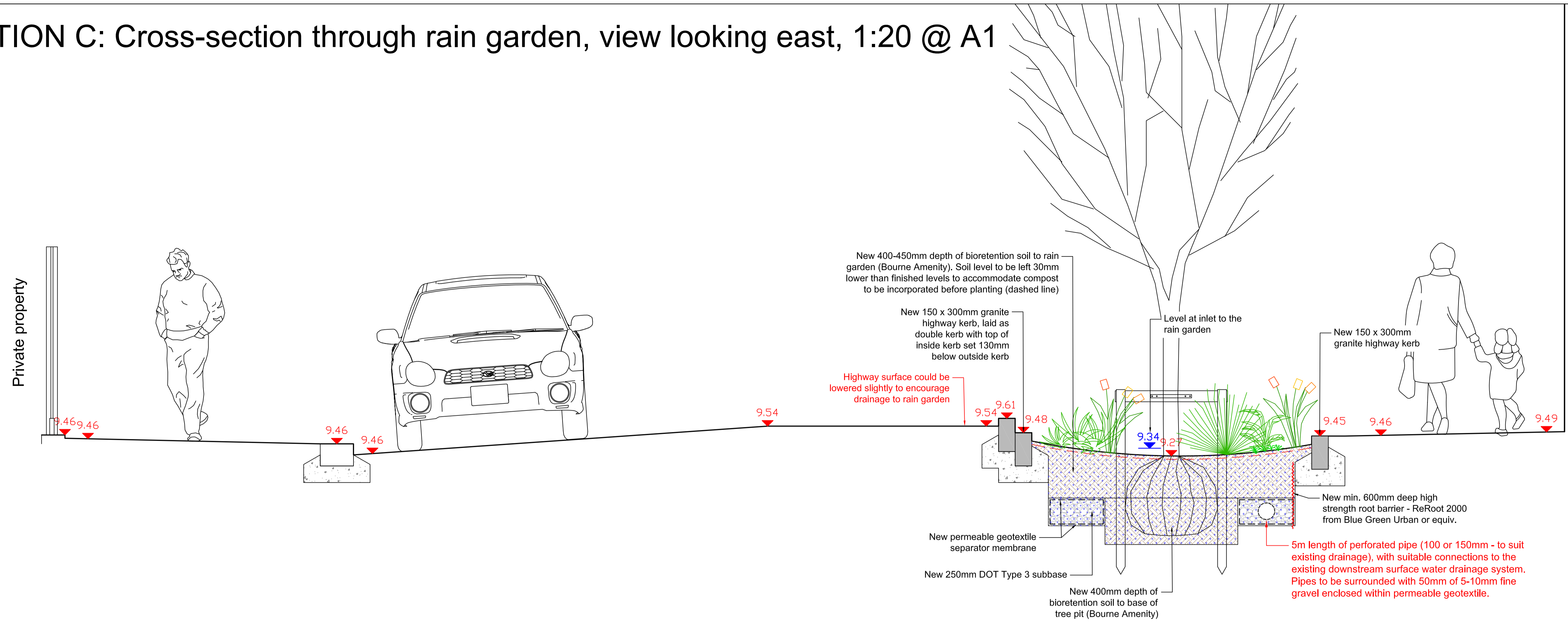
Date 03.11.2017 Drawn MB App

Scale 1:50 @ A3 Checked DI Rev

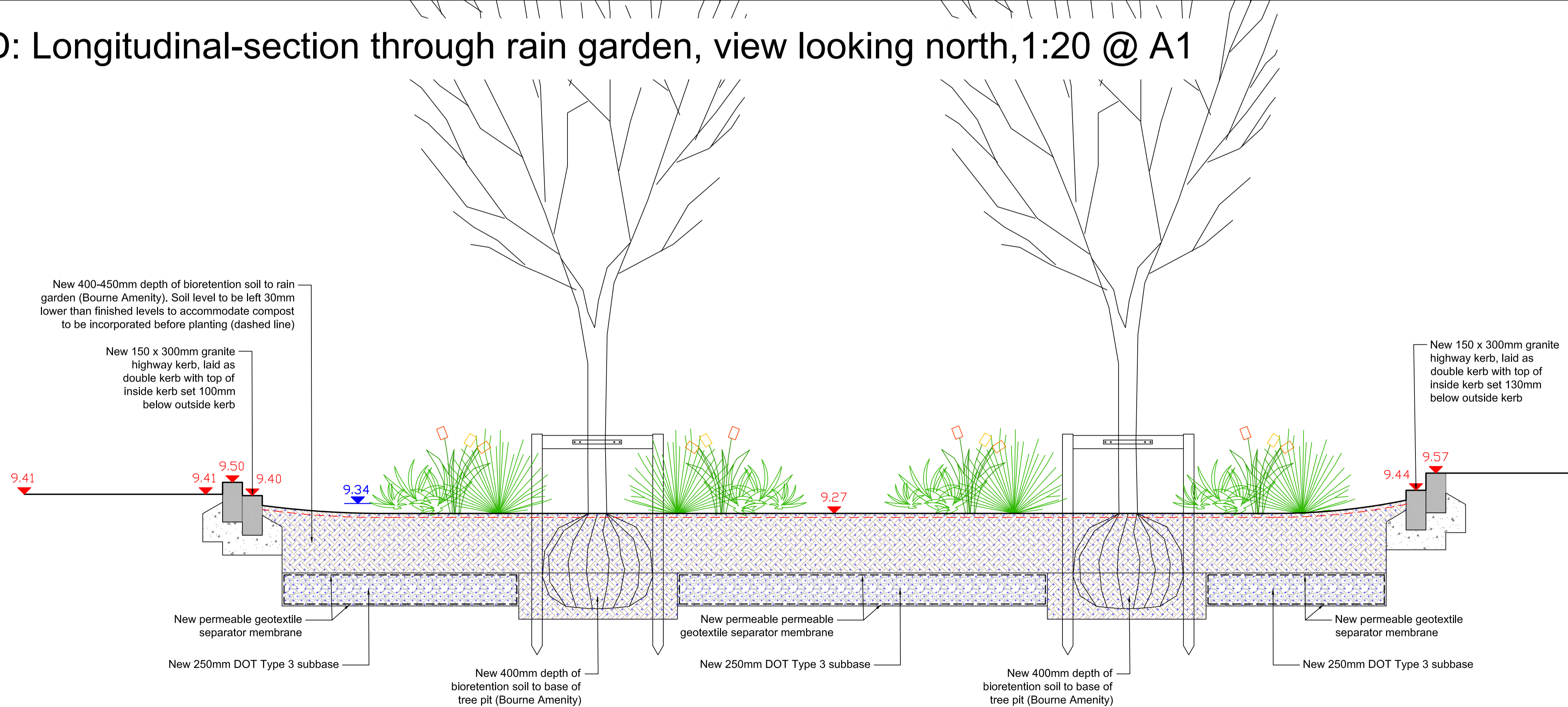
Rev	Date	Description	Checked



SECTION C: Cross-section through rain garden, view looking east, 1:20 @ A1



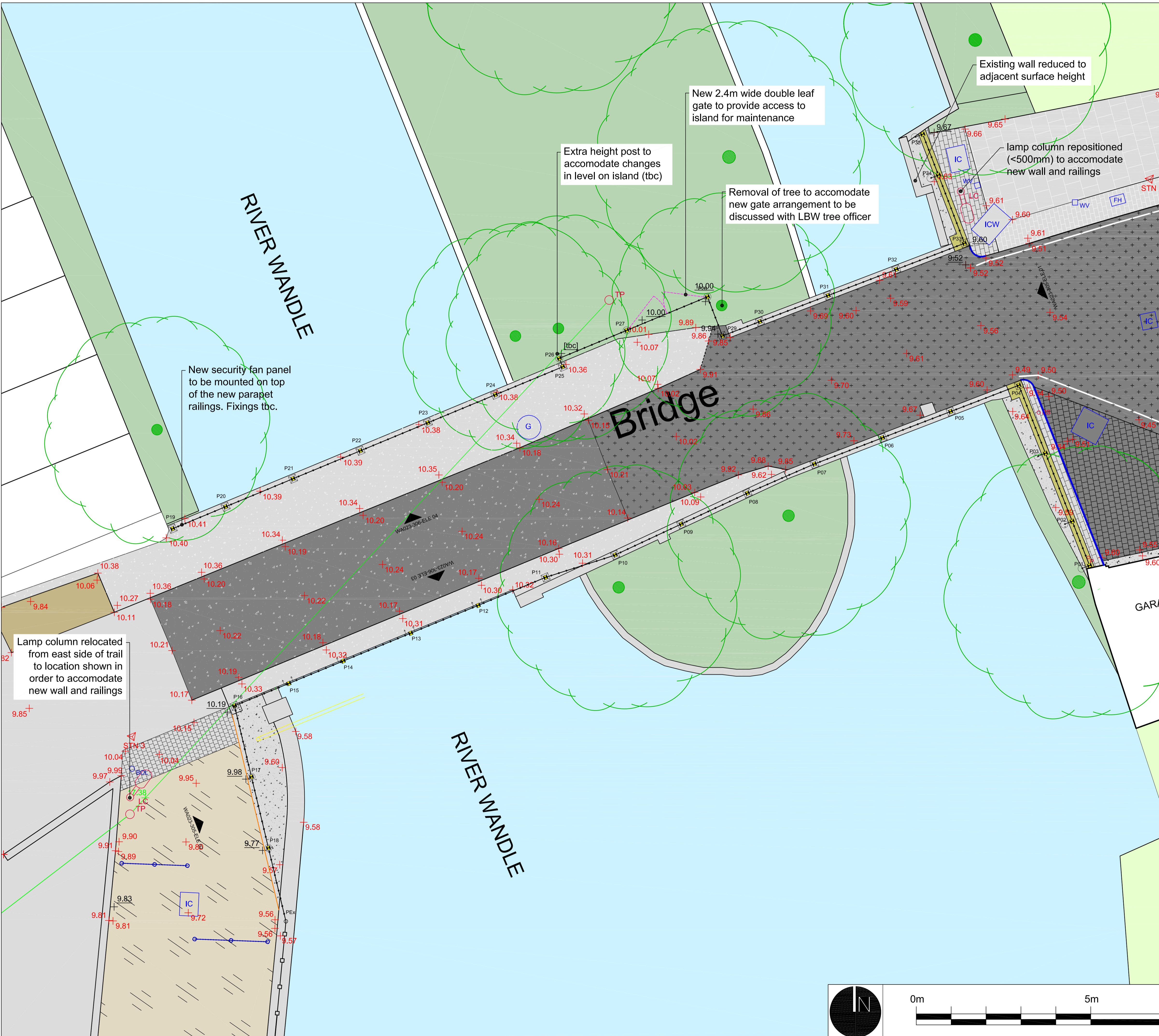
SECTION D: Longitudinal-section through rain garden, view looking north, 1:20 @ A1



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Client: Wandle Valley Regional Park Trust		
<small>Groundwork London 12 Bovey Street London W1 6LJ Tel: 020 7278 1514 Fax: 020 7278 1515 www.groundwork.org.uk/london</small>		
Drawing No. WA023_208_Section C & D		
Date: 07/11/2017	Drawn by: MB	Approved by:
Scale: see DWG	Checked by: DI	Rev:



KEY	
Existing	Proposed
Asphalt road surface	Highway resurfacing - either DBM or MacRebur
Concrete road surface	New in-situ concrete paving
Concrete slab paving	New concrete slab paving (to match existing)
Concrete block paving	New concrete block paving (to match existing)
Granite sett paving	New stone sett paving
In-situ concrete paving	New (or re-laid) 300mm x 200mm granite highway kerb
Existing kerb	New 150mm x 300mm granite highway kerb
Existing dropped kerb	Dropped kerb indicated by dashed line
Gully	New 50mm x 150mm flat top concrete pin kerb
Inspection covers	New bitmac trail surfacing with bonded or rolled aggregate wearing course
Bollards	New steel railings
Road signs	New brick wall with steel railings mounted above
Lamp column	Existing railings to be re-furbished
Tree	Railing post - root fixed
Levels	Railing post - cranked & root fixed
Existing level	Railing post - base plate fixed
Proposed level	Railing post - plate fixed to side of bride

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WANDLE GATEWAY - TREWINT STREET

Client: Wandle Valley Regional Park Trust

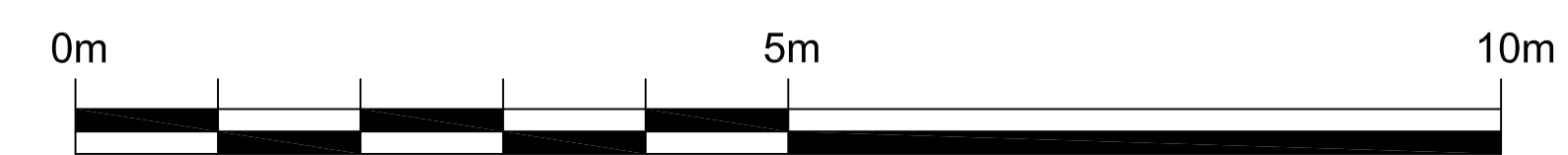
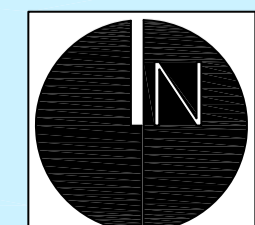
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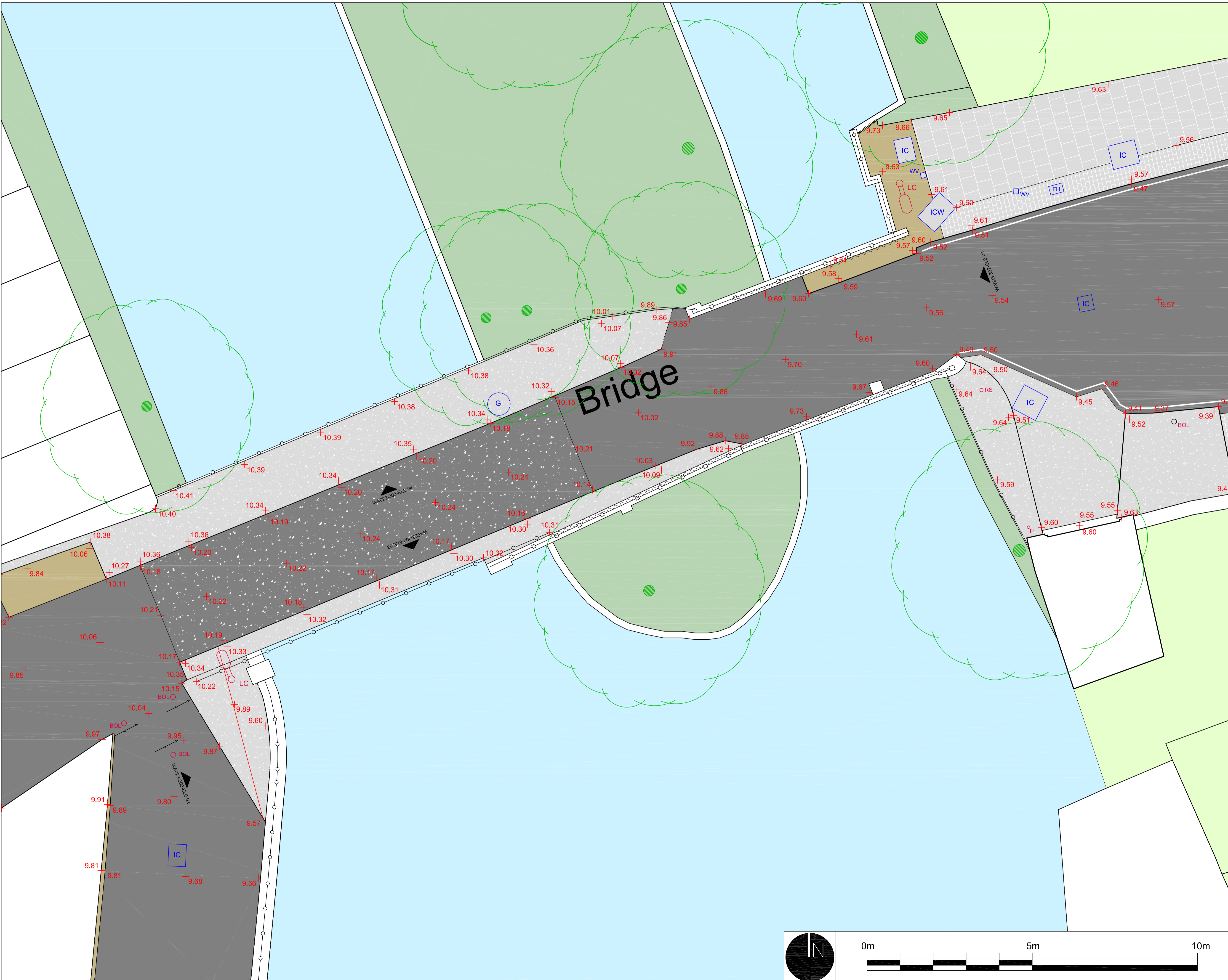
DRAFT


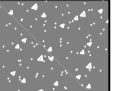


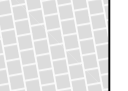








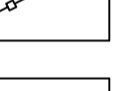

Drawing No. WA023_304_GA Bridge

Date: 21.07.2017	Drawn by: MB	Approved by:
Scale: 1:50 @ A1	Checked by: SD	Rev:

Rev	Date	Description	Checked





- KEY**
-  Asphalt road surface
 -  Concrete road surface
 -  Concrete slab paving
 -  Concrete block paving
 -  Granite sett paving
 -  In-situ concrete paving
 -  Unmade ground
 -  Gully
 -  Inspection covers
 -  Bollards
 -  Road signs
 -  Lamp column
 -  Steel vertical bar railings
 -  Steel post & rail fencing
 -  Steel mesh panel fencing

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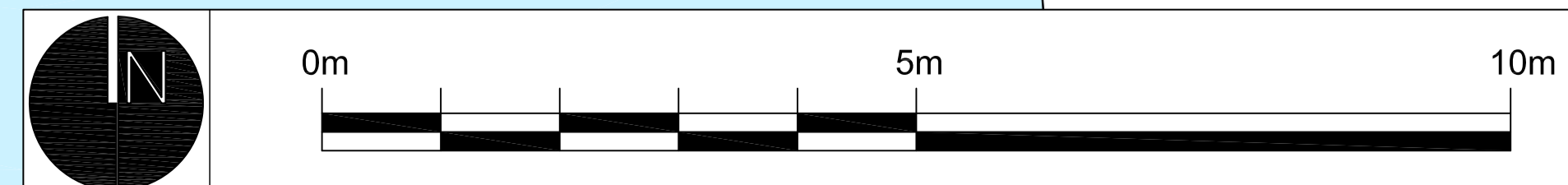
Client: Wandle Valley Regional Park Trust

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 Tel: 020 7239 1280
 Fax: 020 7278 1515
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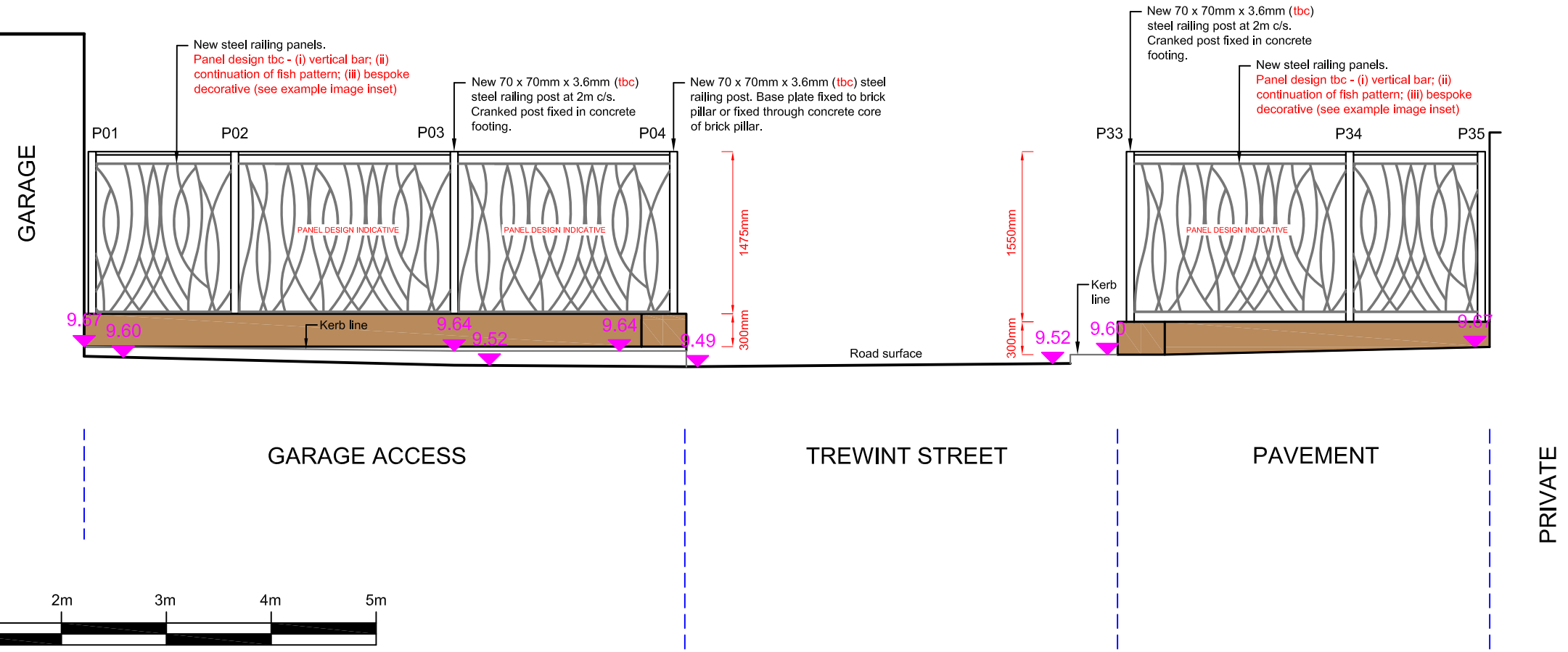
Drawing No. WA032_301 Existing Plan - BRIDGE

Date: 16/12/2016	Drawn by: MB	Approved by: SD
Scale: 1:50 @ A1	Checked by: SD	Rev:

Rev	Date	Description	Checked



PROPOSED ELEVATION 01 - BRIDGE ENTRANCE



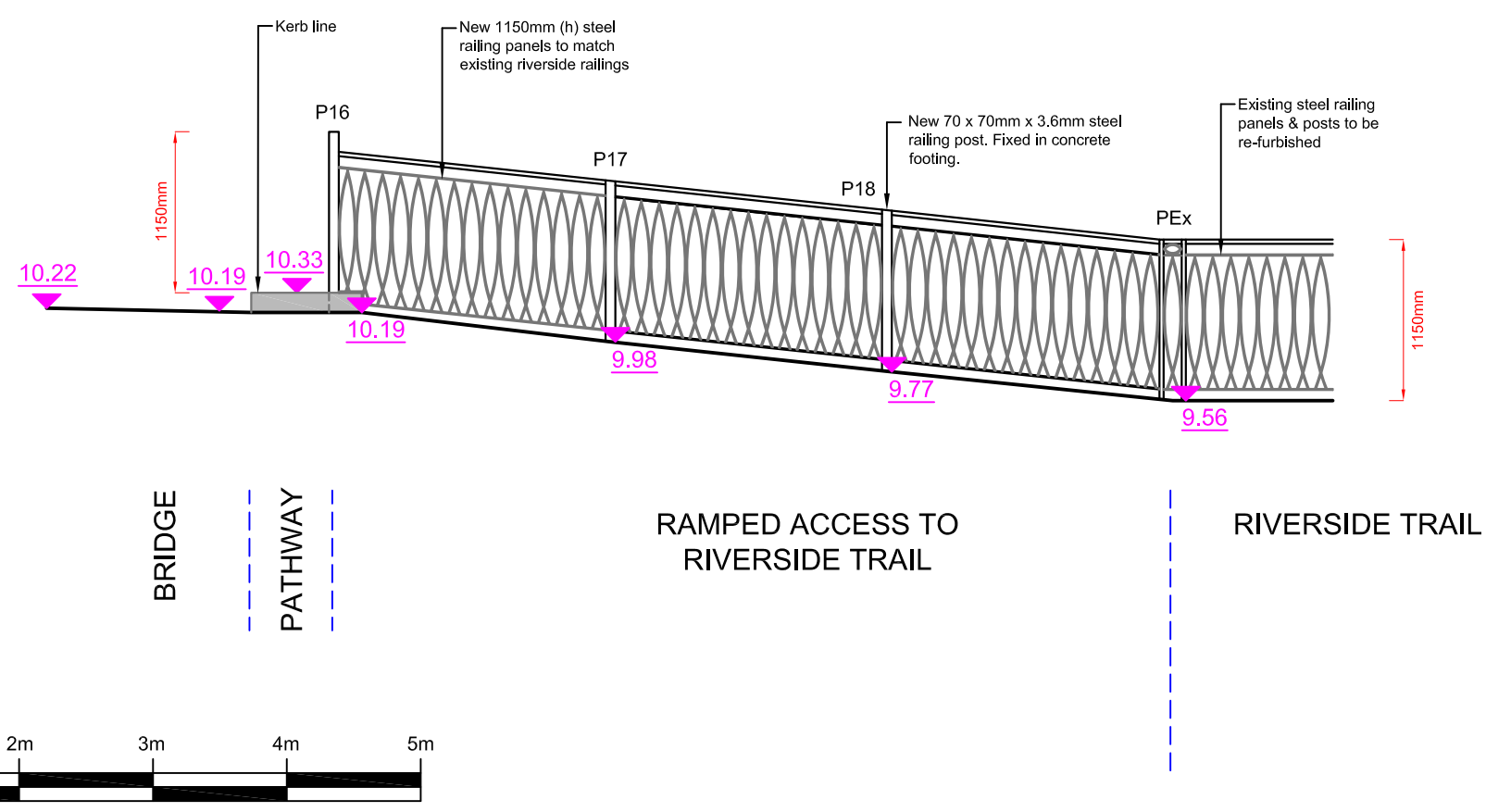
NOTES:

1. Posts at 2m c/s with the exception of end panels. End panels to suit.
2. Post spacings and panel widths to be checked on site by the supplier before fabrication;
3. Panel designs shown are indicative. Detailing to be finalised with fabricator;
4. Proposed relocation of lamp column at trail entrance to be confirmed by LBW;
5. For details of surfacing and edging adjacent to the railings, please refer to drawing WA023-304;



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PROPOSED ELEVATION 02 - RIVERSIDE TRAIL ENTRANCE



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Wandle Gateway - Trewint Street

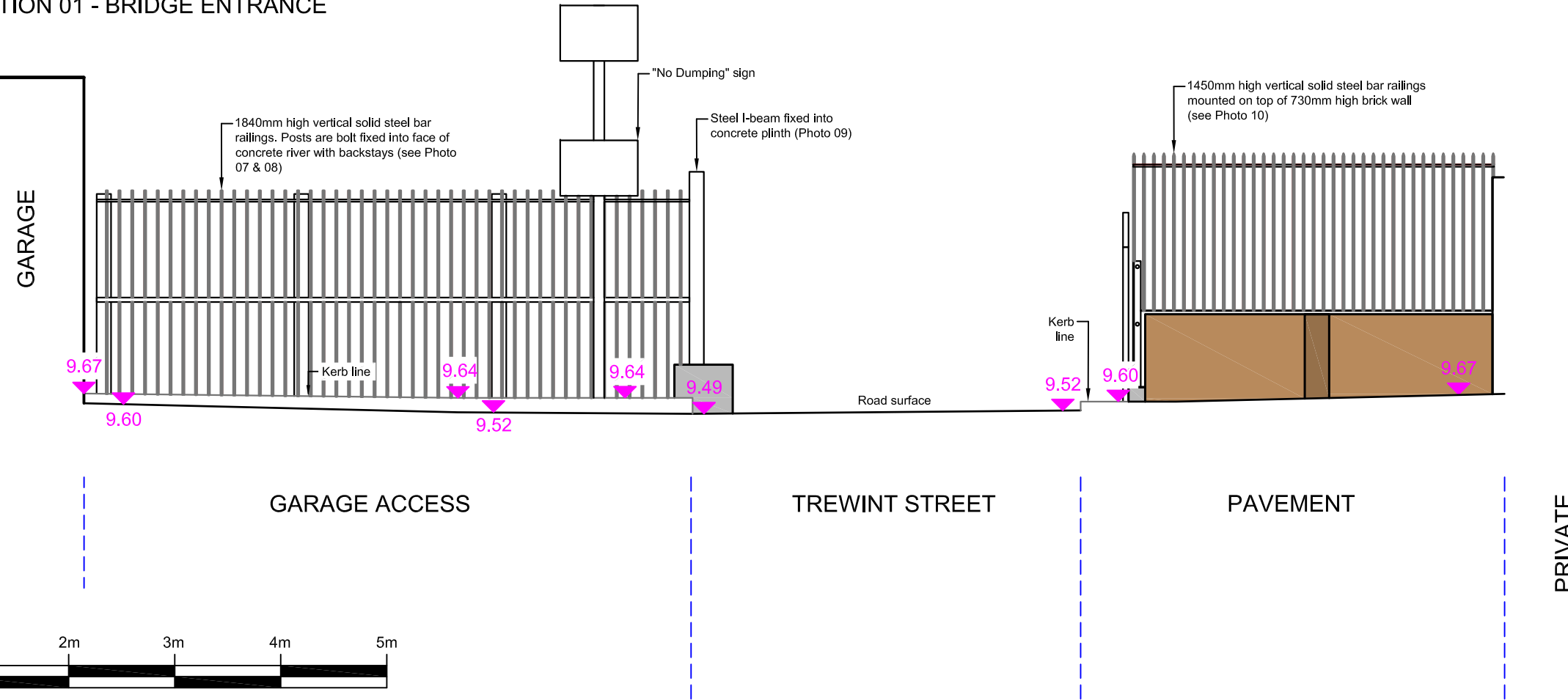
Client: Wandle Valley Regional Park Trust & London Borough of Wandsworth

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Drawing No. WA032_305 Proposed elevations 01 & 02

Date	10.10.2017	Drawn	MB	Rev	
Scale	1:50 @ A3	Checked			
Rev	Date	Description	Checked		

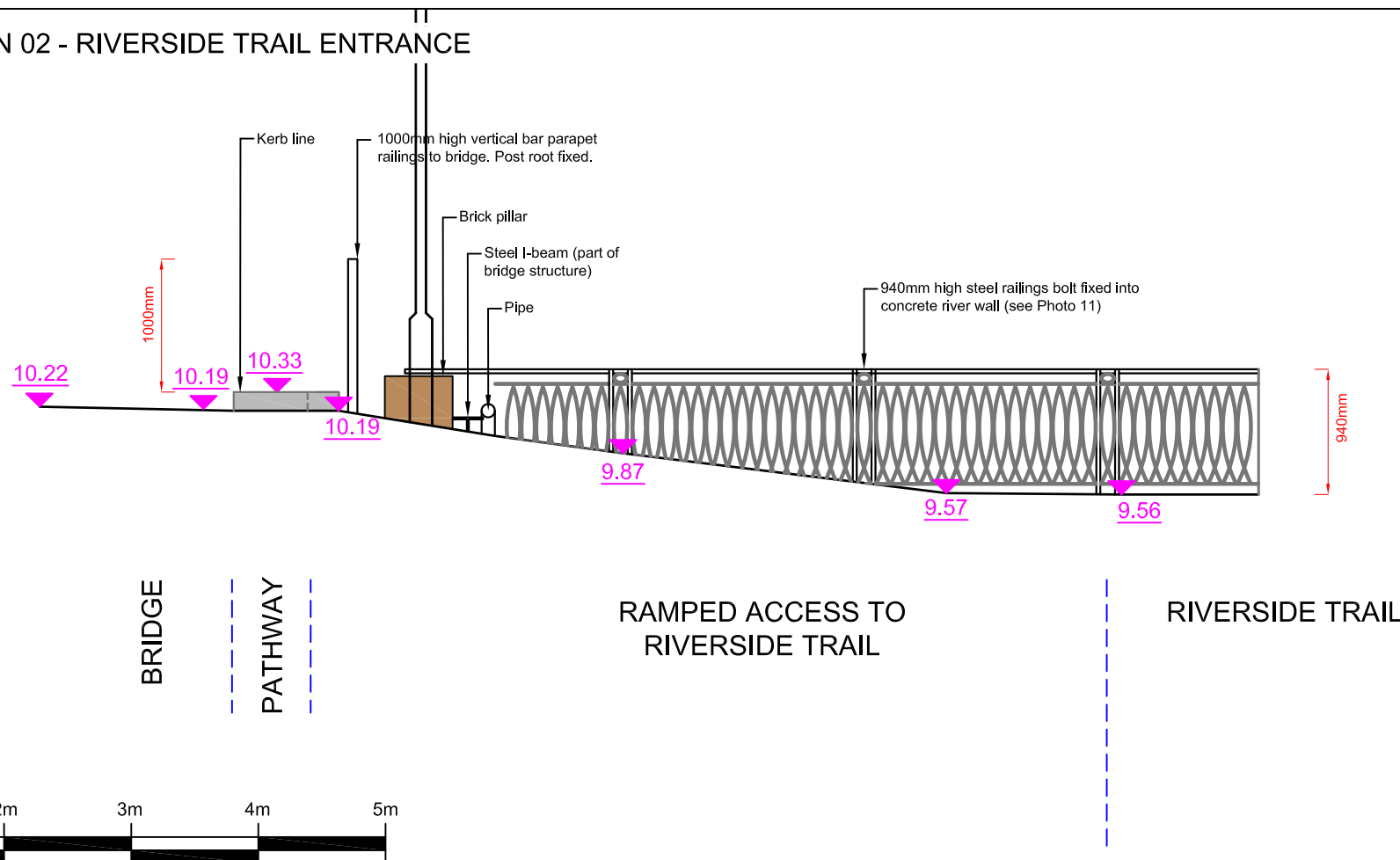
EXISTING ELEVATION 01 - BRIDGE ENTRANCE



NOTES:

1. The photos referenced in the drawing are provided in a separate photo survey document.

PROPOSED ELEVATION 02 - RIVERSIDE TRAIL ENTRANCE



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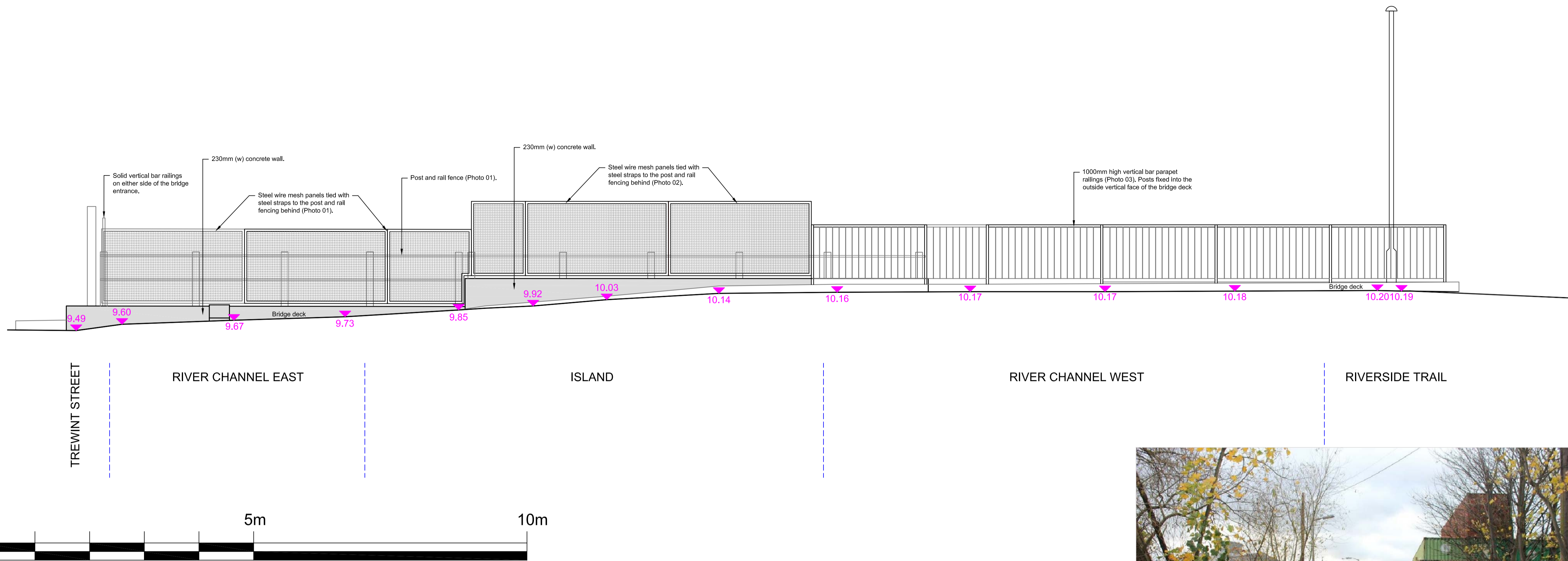
Drawing No. WA032_302 Existing elevations 01 & 02

Date	31.03.2016	Drawn	MB	Rev
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Scale	1:50 @ A3	Checked	
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Rev	Date	Description	Checked

EXISTING ELEVATION - VIEW UPSTREAM (S)



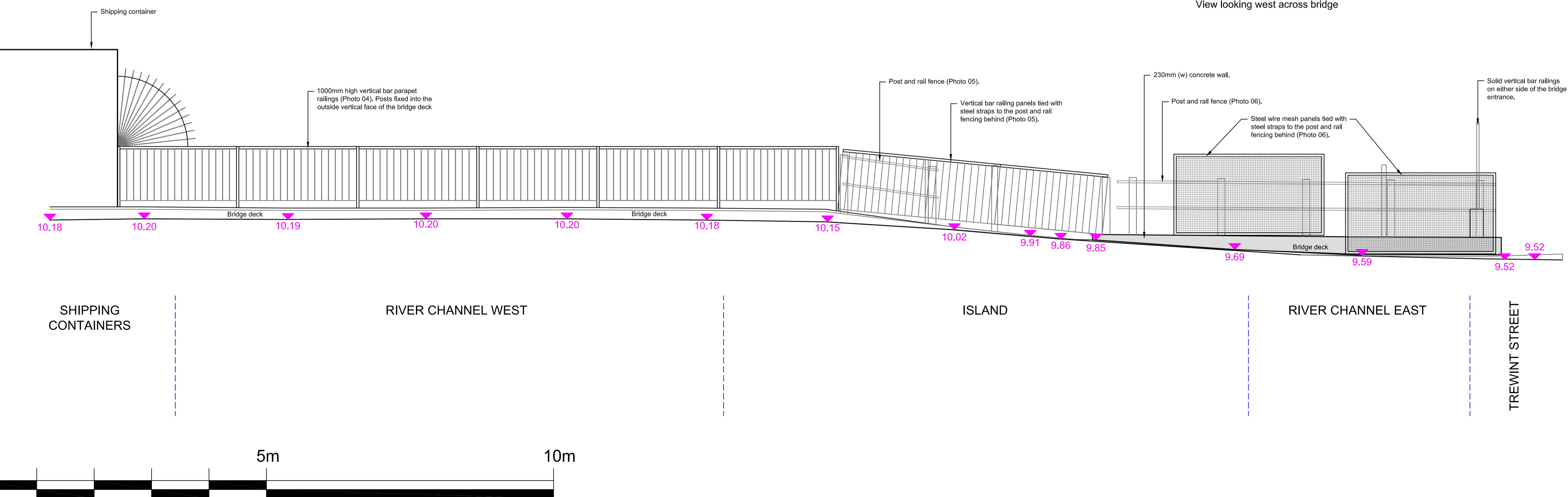
NOTES:

1. The photos referenced in drawing are provided in a separate photo survey document.



View looking west across bridge

EXISTING ELEVATION - VIEW DOWNSTREAM (N)



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Drawing No. WA023_303_Existing elevations 03 & 04

Date: 21/07/2017 Drawn by: MB Approved by:

Scale: 1:40 @ A1 Checked by: Rev:

Rev	Date	Description	Checked

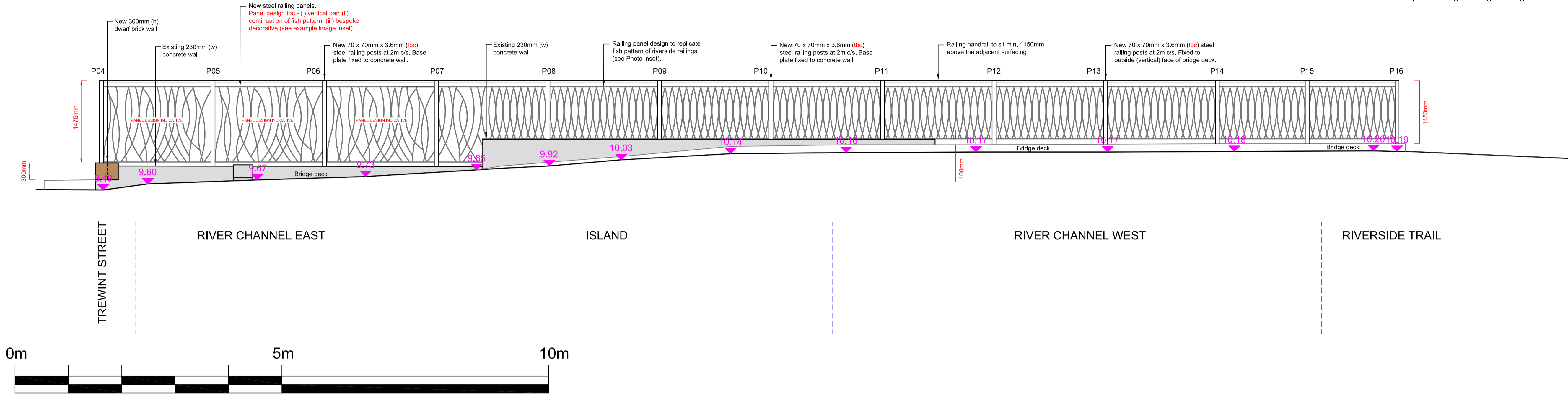
PROPOSED ELEVATION 03- BRIDGE RAILINGS (S)



Campbell Design & Engineering

NOTES:

1. Posts at 2m c/s with the exception of end panels. End panels to suit.
2. Post spacings and panel widths to be checked on site by the supplier before fabrication;
3. Panel designs shown are indicative. Detailing to be finalised with fabricator;
4. Proposed relocation of lamp column at trail entrance to be confirmed by LBW;
5. For details of surfacing and edging adjacent to the railings, please refer to drawing WA023-304;



PROPOSED ELEVATION 04 - BRIDGE RAILINGS (N)

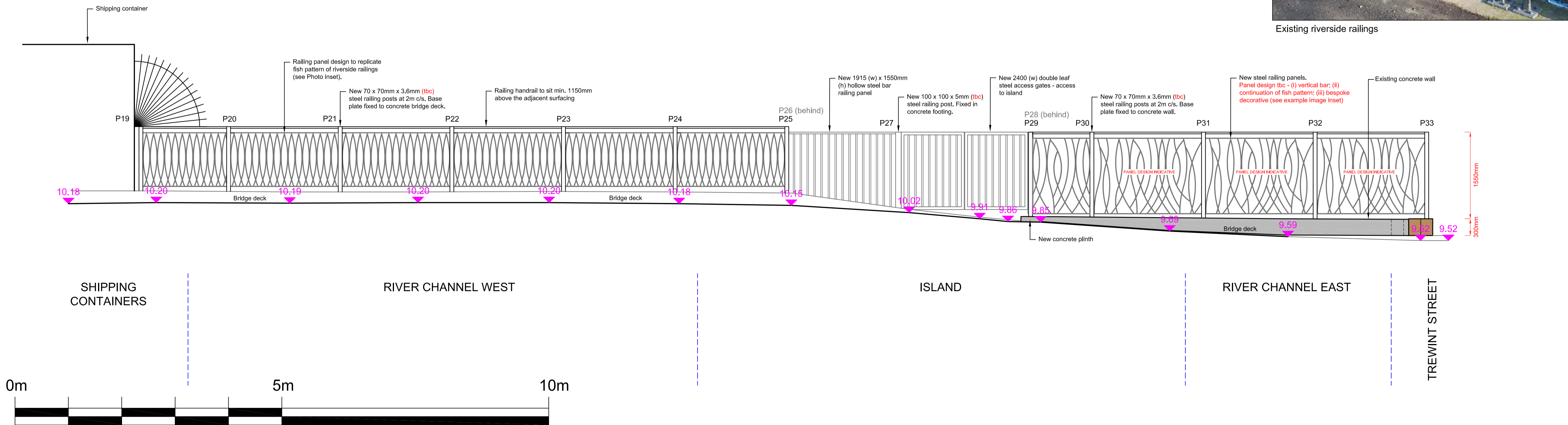


Existing riverside railings

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Wandle Gateway - Trewint Street

Client: Wandle Valley Regional Park Trust & London Borough of Wandsworth

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Drawing No. WA023_306_Proposed elevations 03 & 04

Date: 21/07/2017 Drawn by: MB Approved by:

Scale: 1:40 @ A1 Checked by: Rev:

Rev	Date	Description	Checked



Art project proposed to transform existing blank concrete wall (see photo) - take inspiration from natural and cultural heritage

Re-surface trail to match stretch of trail heading south from the borough boundary towards Plough Lane in LBM

Re-furbish existing steel riverside railings - sand and re-paint

Remove unused railings at borough boundary (tbc)

Clear and improve vegetation - currently dense scrub which is prone to fly-tipping (tbc)

Re-surface trail south of borough boundary to connect Gateways work with trail improvements undertaken in LBM in 2014 (tbc).

Re-pave weir road entrance and introduce Regional Park signage (tbc)

Trail re-surfaced in 2014

Allotment Gardens

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Wandle Gateway - Trewint Street

Client: Wandle Valley Regional Park Trust

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Drawing No. WA032_403 GA Trail (Areas 4A&B)

Date	28.07.2017	Drawn	MB	Rev
Scale	1:200 @ A3	Checked		
Rev	Date	Description	Checked	

